



**Lewiston Planning & Zoning Commission
REGULAR MEETING AGENDA
June 10, 2026 - 5:30 PM
Bell Building – Second Floor Conference Room – 215 D Street
Lewiston, Idaho 83501**

Seating will be available on a first-come, first-served basis.

I. CALL TO ORDER

II. CITIZENS COMMENTS

An opportunity for citizens to address the Commission with comments and/or questions about Planning and Zoning Commission-related matters that are not a public hearing action item on this agenda. Citizens are asked to limit their time to three (3) minutes each.

III. ACTIVE AGENDA

A. APPROVAL OF MAY 27, 2026 MEETING MINUTES (ACTION ITEM)

B. CONSIDERING THE APPROVAL OF THE REASONED STATEMENT FOR ZONE CHANGE APPLICATION ZNC24-5 UPZONE OF PROPERTIES ON THE WEST AND EAST SIDE OF THE 21ST STREET CORRIDOR (ACTION ITEM):

:

A proposal to rezone property currently located in the Low Density Residential, R2, zone to the Medium Density Residential, R3, zone in the areas generally depicted in Map 1A and 2A. A proposal to rezone property currently located in the Low Density Residential, R2, zone to the Higher Density Residential, R4, zone in the areas generally depicted in Map 1B and 2B. A proposal to rezone property currently located in the Low Density Residential, R2, zone to the General Commercial, C4, zone in the areas generally depicted in Map C. A proposal to rezone property currently located in the Low Density Residential, R2, zone and Medium Density Residential, R3 zone to the Regional Commercial, C6, zone in the areas generally depicted in Map 1D and 2D. This proposal is limited to the area generally described at east of 17th Street to 21st Street, between 11th Avenue and 19th Avenue and east of 21st Street to 29th Street, between East Main Street and Nez Perce Drive. The City then intends to update the City of Lewiston Zoning Map accordingly.

- Action Item ()

C. PUBLIC HEARING AND RECOMMENDATION TO CITY COUNCIL ON ZONING CODE AMENDMENT ZA-03-26 (ACTION ITEM):

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The Planning and Zoning Commission will consider Zoning Code amendments to amend the definitions of “dwelling, multifamily”, “dwelling, two-family”, and “class A manufactured home” to include and allow multidwelling unit manufactured homes to comply with 2026

Idaho Legislative Session House Bill 800. The Commission will make a recommendation to City Council to approve or deny this matter.

- Action Item ()

D. PUBLIC HEARING AND RECOMMENDATION TO CITY COUNCIL ON ZONE CODE AMENDMENT ZA-04-26 (ACTION ITEM):

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The Planning and Zoning Commission will consider Zoning Code amendments to the provisions relating to accessory apartments relative to size, parking, and setbacks to comply with 2026 Idaho Legislative Session Senate Bill 1354. The Commission will make a recommendation to City Council to approve or deny this matter.

- Action Item ()

E. PUBLIC HEARING AND SUBSEQUENT DELIBERATION AND DIRECTION TO STAFF REGARDING THE REASONED STATEMENT FOR FAIRVIEW TERRACE PLANNED UNIT DEVELOPMENT AMENDMENT BY MILLENNIUM TRUST, LLC (ACTION ITEM)::

The applicant requests amendment to the Fairview Terrace PUD to change the zoning designation for the 2.65 acre parcel, Darby Village Subdivision Block 2, also known as RPL 04050020000, from single family residential (similar to Low Density Residential, R2, Zone) to Higher Density Residential, R4, Zone to allow for the development of a higher density residential community consisting of three (3) residential buildings with 48 dwelling units.

- Action Item ()

IV. STAFF-COMMISSION COMMUNICATIONS

A.

SOLICITING COMMISSIONER ATTENDANCE FOR THE NEXT REGULARLY SCHEDULED MEETING OF JUNE 24, 2026 (REASONED STATEMENT AND USE ZONES WORK SESSION)

V. ADJOURNMENT (Action Item) - Action Item

The City of Lewiston is committed to providing access and reasonable accommodation in its services, programs, and activities and encourages qualified persons with disabilities to participate. If you anticipate needing any type of accommodation or have questions about the physical access provided at this meeting, please contact Nikki Province, ADA Coordinator, at least forty-eight (48) hours in advance of the meeting at 208-746-3671 x 6211.

May 27, 2026

The LEWISTON PLANNING AND ZONING COMMISSION met in the Community Development Department Second Floor Conference Room at 215 "D" Street. Chair Iacoboni called the meeting to order at 5:30 p.m.

I. CALL TO ORDER

COMMISSIONERS PRESENT: Gabriel Iacoboni, Chair; Emily Wolf, Vice Chair; Shaunita Cable; Cynthia Ball; Zach Battles; Maureen Anderson;

COMMISSIONERS EXCUSED: Kyle Harris;

STAFF MEMBERS PRESENT: Katie Hollingshead, Assistant Planner; Dawn Ortiz, Community Development Office Supervisor

II. CITIZENS COMMENTS

None

III. ACTIVE AGENDA

A. APPROVAL OF MAY 13, 2026 MEETING MINUTES (ACTION ITEM)

Commissioners Anderson and Ball moved and seconded, respectively, approval of the May 13, 2026 as written. The motion carried 6-0.

B. APPROVAL OF THE REASONED STATEMENT OF RELEVANT CRITERIA AND STANDARDS APPROVING SIGN WAIVER APPLICATION V-26-1 BY ZACK CHRISTENSEN OF WALKER'S FURNITURE AT 815 MAIN STREET (ACTION ITEM):

Commissioners Ball and Anderson moved and seconded, respectively, to approve the Reasoned Statement for VAR-26-1 as written, with the name modification correction. The motion carried 6-0.

C. CANYON CREST SOUTH PHASE II PRILIMINARY PLAT (ACTION ITEM):

City Surveyor Mark Weigand verbally summarized the request for the Planning and Zoning Commission.

Commissioner Cable and Chair Iacoboni moved and seconded, respectively, to recommend approval of the Canyon Crest South Phase II Subdivision preliminary plat and to approve the related Reasoned Statement. The motion carried 6-0.

D. PUBLIC HEARING AND SUBSEQUENT DELIBERATION AND DIRECTION TO STAFF REGARDING THE REASONED STATEMENT FOR ZONE

CHANGE APPLICATION ZNC24-5 UPZONE OF PROPERTIES ON THE WEST AND EAST SIDE OF THE 21ST STREET CORRIDOR (ACTION ITEM):

Chair Iacoboni explained the public hearing process, opened the public hearing, and asked staff for a presentation.

Staff Hollingshead provided a verbal summary of the upzone intent, along with maps and photos, so the commission could become geographically familiar with the area.

Commissioner Anderson confirmed that the existing non-conforming structures would not be able to be rebuilt to what it was before the incident.

Staff Hollingshead confirmed that if there was an 80% loss, then the new building would have to be built to current standards.

Commissioner Ball asked if there is a way or path to request that the non-conforming structure be built back to its original condition.

Staff Hollingshead stated that they could apply for a variance.

There being no further questions for the staff, Chair Iacoboni asked for public testimony.

Diane Marsh from Lewiston asked what the purpose of the upzone is and whether this will change their property taxes.

Staff Hollingshead stated she spoke with the county, and the zoning does not affect your taxes, just the use of the lot.

Commissioner Anderson mentioned that there have been several calls regarding selling, acquiring a loan, or modifying the lot, causing difficulties if the lot is non-conforming.

Linda Wieme from Lewiston doesn't want to see the buffer zone run down the middle of her neighborhood.

Mario Telly from Lewiston, this is just a paperwork change, but if his house burns down, he can't build it back, but now he can with the up-zone. Stated there has to be something bigger going on.

Commissioner Iacoboni stated that the Comprehensive Plan is to align the existing code with modern building codes.

Commissioner Anderson stated that the code has changed from previous years, and the upzone is to correct the inconsistency that has happened along the way, as the code has changed, and the zoning area hasn't changed.

Mario Telly from Lewiston stated that he understands the need, but he doesn't understand why he can't build back to code, but with the change, he can.

Commissioner Anderson stated they don't want the owners to be penalized if something happens to the property.

Commissioner Ball stated that most of the homes in these areas have a 7100 square foot lot, so why not make them match the zone that has those standards. R3 zone opens up other opportunities down the road.

Chair Iacoboni stated he can't speak for what will happen in 10 to 20 years, but he can speak for the current environment.

Jack Sell from Lewiston stated that none of the commissioners live there, and does an environmental study needs to be done.

Walt Wiem from Lewiston stated that there will be tragedies, and what happens when a developer comes in and offers three owners to purchase their lots, so there is an apartment complex.

Debbie Blake from Lewiston stated her concern is that she heard if an apartment complex is coming, and she stated that the insurance field and being grandfathered in if you have owned it for a long period of time, but once you sell the property, that can go away. The owner is not always able to rebuild it back to the way it was, but has to build it back to the current code. She sees now that bringing the lots to conform will be better for loss, but she does not want an apartment complex coming in.

Sherina Telly from Lewiston and she is very concerned about the possibility of a homeless shelter coming in.

Staff Hollingshead stated that all homeless shelters require a conditional use permit. They are not allowed by right.

Commissioner Battles asked what would be permitted in a C6.

Staff Hollingshead stated the uses by right and conditional uses for a C6.

Commissioner Ball asked what the difference was between a C4 and a C6.

Staff Hollingshead read the uses by right and conditional uses for a C4.

Brian Startweel from Lewiston asked for the biggest/largest number of units.

Staff Hollinghead stated that if you have three 7100 square foot lots, combined, 11 units would be allowed on the 21,300 square feet, but there are other additional standards that would need to be met for multifamily.

Commissioner Anderson stated that when it comes to a conditional use permit, the commission has to go by a standard and not by how they feel about a project.

Larry Dean from Lewiston stated his neighbors are very concerned about an apartment complex being built in the neighborhood, and the sewer is not holding up now. If this happens, the existing owners could lose their investments. When apartments move in, families move out.

Irene Everett from Lewiston stated that she understands this as a way to get back into what is existing now, and making the zone match what is there.

Troy Crawford from Lewiston asked about taxes, and this was a way to increase them.

Staff Ortiz confirmed that the commissioners received the public comment sent from Susanne Woodard and David George. Staff Ortiz also read the following 4 emails received for public comment.

Lacey Robbins
2327 11th Ave
Lewiston, ID 83501
May 24, 2026

Lewiston Planning and Zoning Commission
Lewiston, ID

Re: Opposition to ZNC24-5 UPZONE OF PROPERTIES ON THE WEST AND EAST SIDE OF THE 21ST STREET CORRIDOR

Members of the Planning and Zoning Commission,

I am writing to state my firm opposition to the proposed rezoning of my neighborhood from its current R2 designation to higher-density residential and expanded commercial classifications including R3, R4, C4, and C6.

The proposal appears to assume that substantial future growth demands significant increases in density and commercial space. The available data does not support that assumption.

Recent Idaho Department of Labor population data showed that 57 Idaho cities lost population between 2023 and 2024. Most of those communities were small and experienced only minor decreases. Lewiston, however, experienced the largest population loss in the state despite being Idaho's 11th largest city. That should raise serious questions about whether there is a demonstrated need to significantly increase residential density and commercial development in Lewiston's established neighborhoods.

National demographic trends raise additional concerns. The United States is experiencing historically low birth rates that remain below replacement levels. Population trends in Nez Perce County also indicate that births are not keeping pace with deaths. Given these realities, I question the basis for assuming substantial growth that justifies permanently changing my neighborhood.

The proposal appears to create solutions for growth that may not actually exist while placing the burden of the consequences on people who already live here.

I, and many of my neighbors, purchased homes and built lives in this neighborhood based on reasonable expectations about the character and use of the area. Rezoning R2 neighborhoods into substantially higher-density residential and commercial areas fundamentally changes the expectations we relied upon when deciding where to invest our money, purchase homes, and raise our families.

The negative impacts of this proposal on the quality of life in our neighborhood are clear:

- Increased traffic congestion and more vehicles moving through residential streets
- Increased noise from businesses, customers, service vehicles, deliveries, and increased population density
- Increased strain on roads, utilities, sewer systems, water systems, and stormwater infrastructure
- Increased parking problems and overflow parking into residential streets
- Reduced privacy due to larger and denser development patterns
- Increased pedestrian and traffic safety concerns
- Increased opportunities for pedestrian and vehicle collisions

- Construction disruption lasting months or years
- Permanent changes to neighborhood character and quality of life

Safety concerns deserve particular attention. Lewiston already experiences numerous pedestrian and vehicle accidents each year, particularly where 21st street is involved. Increasing density naturally means more vehicles, more pedestrians, more entrances and exits, and more traffic interactions. Increasing population density without first ensuring adequate infrastructure and traffic planning risks making existing problems worse.

I also question the justification for expanding commercial zoning. Lewiston and the surrounding valley already have vacant and underutilized commercial properties. There have been many Lewiston businesses that have struggled or closed in recent years whose store fronts stand empty and are becoming an eyesore for the community. If we cannot fill our current business spaces, why would we create more? Creating more commercial space does not automatically create economic growth. Expanding commercial zoning while existing spaces remain underused risks creating oversupply and more empty buildings rather than addressing a genuine need.

Furthermore, I believe the city's time, planning efforts, and financial resources would be better spent improving and modernizing the infrastructure and public services that already exist to support current residents. Roads, traffic flow, aging infrastructure, utilities, drainage systems, and schools should be priorities. Existing residents should not see resources diverted toward creating new development opportunities while many current systems and community needs still require investment and improvement. Please remember that it was only within the last 4 years that the water reservoir above Sunset park broke and flooded our part of town leading to other water and sewer repairs that the city should not have been putting off until an emergency struck.

Good planning is not simply about allowing more development. Good planning requires identifying actual needs and ensuring that growth benefits the community rather than diminishing the quality of life of the people already living here.

This proposal asks current residents to accept increased traffic, increased noise, increased density, decreased privacy, increased safety concerns, a decreased sense of community, and a fundamental change to their neighborhoods without demonstrating why these impacts are necessary.

I strongly oppose this rezoning proposal and urge the Commission to do what is best for the current residents of the proposed rezoning area and reject the proposal.

Sincerely,

Lacey Robbins”

“Dear Planning & Zoning Commissioners, Mr. Plaskon, and Ms. Hollingshead,

My name is Walt Wieme, and I reside in the Sunset Park neighborhood. Five years ago, my wife and I relocated from Boise to Lewiston specifically for the well-maintained, timeless single-family character and uniquely Americana serenity that defines areas like this.

As a retired civil engineer, I spent my career designing major roadway projects for the Idaho Transportation Department (ITD), Ada County, the City of Nampa, and communities experiencing growth all across the state. I have direct professional experience with the real-world traffic, parking, infrastructure, and neighborhood impacts of land-use changes in rapidly growing Idaho communities.

I understand the City’s goals of increasing housing supply along the 21st Street corridor. However, after witnessing the outcomes of similar rezoning policies in high-growth areas like Boise and Nampa, and with my transportation engineering background, I am concerned that this proposal applies those strategies in precisely the wrong locations.

With respect, the professional staff and Commission appear to be operating primarily from a local, slower-growth perspective. Lewiston has not yet experienced the rapid transformation seen in other parts of Idaho, and there seems to be limited firsthand experience with the long-term consequences of broadly rezoning stable, low-vacancy, established single-family neighborhoods.

Specific Concerns for the Sunset Park Area:

- These blocks consist of mature, owner-occupied single-family homes with many long-term residents and retirees. These are not transitional or underutilized properties.
- There is virtually no vacant land in the proposed rezoning boundaries. Any density increase to R3/R4 would require demolition or major redevelopment of existing homes, fundamentally altering the low-density, park-adjacent character of these established neighborhoods.
- From a transportation perspective, higher density would exacerbate traffic, parking spillover, and safety issues on interior streets and near Sunset Park without corresponding infrastructure upgrades.
- Long-term residents on fixed incomes could face rising property taxes and redevelopment pressure.

Better Alternatives Already Identified by the City:

The City's own *Envision Lewiston 2044* Comprehensive Plan identifies significant opportunities for future development and annexation in East Lewiston and the Orchards. These are true greenfield sites – meaning undeveloped, open land on the edge of the city that has never been built on. Yet instead of focusing growth there, the City recently designated 187 acres of prime greenfield land as the new Lewiston Community Park. The attached photo of this site (looking north toward Lewiston Grade) clearly shows the scale of this beautiful, undeveloped land – a massive commitment for a city of 35,000 residents that offered excellent potential for balanced residential and commercial development but has now been removed from consideration.

Questions for Staff and the Commission:

1. What is the realistic projection for new housing units created through redevelopment in these fully built-out Sunset Park area neighborhoods over the next 10–20 years?
2. What specific protections (non-conforming use rights, height limits, design standards, transition buffers) will apply to existing homes, especially those bordering the park?
3. Has a detailed, site-specific traffic impact analysis, parking study, and infrastructure capacity assessment been completed for this segment?
4. Why include quiet interior residential streets and park-adjacent blocks rather than limiting rezoning to underutilized commercial frontage on 21st Street and prioritizing the greenfield annexation opportunities already identified in the Comprehensive Plan?
5. What less disruptive alternatives – such as targeted ADU incentives, missing-middle housing only on appropriate larger lots, or form-based codes strictly along the arterial – were seriously evaluated?

I respectfully urge the Commission to recommend denial or substantial modification of ZNC24-5 to exclude established single-family neighborhoods in the Sunset Park area. Lewiston has ample room to accommodate responsible growth by prioritizing edge greenfield development and annexation rather than sacrificing its best existing residential communities.

Thank you for your service. I am happy to answer questions, provide additional neighborhood photos, or participate in a site visit.

Sincerely,

Mr. Walt Wieme”



“I'm writing this to email to have my comments heard on the ZNC24-5 Upzone of Properties on the West and East Side of the 21st Street Corridor proposal, specifically in regards to the proposals in Map 1A and Map 1B.

In regards to the proposed change represented in Map 1A changing the area from R2 to R3 I oppose this proposed zone change. Also, according to Sec. 37-42. - R-3 medium density residential zone municipal code this zoning change violates the expressed purpose of R3 zoning, which must satisfy two requirements. Those two requirements are 1) To provide land for the development of multifamily dwellings AND 2) to provide an orderly transition from more intensive, high density uses to less intensive, lower density uses. This proposal fails the second purpose requirement as stated in municipal code as the addition of the outright permitted uses that are different than the outright permitted used under Sec. 37-26 outright permitted uses explicitly allow more dense housing options. The language in the municipal code is very clear that both purposes must be satisfied, not that either may be satisfied. Therefore, it is my position that this proposal does not satisfy the municipal code purpose.

In regards to the proposed change in Map 1B changing the area from R2 to R4 I opposed the proposed zone change. As a resident of Lewiston and property owner that would be directly impacted by this change the area already has challenges to the peace and security of the current residents and changing of the zoning to R4 would intensify both those challenges. Further, Lewiston does not have a need for this higher density zoning as the population of Lewiston is more basically stable and may have experienced slight decline, but overall is not expected to grow. Many for sale properties in Lewiston already have trouble selling and the addition of housing density is not going to address that issue and

may worsen it, as an increase in housing options will decrease seller's ability to sell their property

Further, the increase of zoning density in this area in particular can lead to the loss of the neighborhood aesthetic and character. The term Candy Cane Lane exists in direct reference to the tradition of those neighbors who live on Sunset Drive in Map 1A to put up Candy Canes during the winter holiday season. Sunset Park has a quiet community of neighbors who enjoy being able to walk to the park to spend time enjoying the sunlight and nature. Sunset Park is an area where it's very common to see wildlife in the cooler evening hours and the increase in density may threaten the public's logistical access to that directly, as the additional noise and commotion of higher density settings may scare away the existing wildlife.

Overall, I am opposed to these proposals and specifically to the proposals in Map 1A and Map 1B.

Thank you for taking your time to read this and enter it into the record.

Anthony Robbins, Lewiston, ID"

"In regards to rezoning around our home at 1219 17th Street from R2 to R3.

We are not in favor. We are concerned about shoving more people into our already tight neighborhood.

In the last month we have seen an increase in shady foot traffic up and down 17th Street. There are people living in their cars parked by the Salvation Army Church building on 21st st. They do not even take care of their property by keeping weeds down, etc. My concern is you are doing this so they can house people on their property. There is also a daycare and schools nearby that do not need this.

There is a rental house next door to us. We have lived in our home 22 years. Over the years there have been several college students rent the house and several parties have taken place and gotten out of control and onto our property. Allowing more residents into our small lots is not wise. Please reconsider.

Thank you.

Sherena and Mario Telly From Lewiston"

There being no further public comment, Chair Iacoboni closed the public hearing.

After deliberation and discussion, Commissioners Wolf and Battles moved and seconded, respectively, to direct staff to draft the Reasoned Statement approving ZNC24-5. The motion failed 3-3.

Chair Iacoboni and Commissioner Anderson moved and seconded, respectively, to direct staff to draft the Reasoned Statement approving ZNC24-5 with the amendment to map 3 east AH 2 for R4 and R3 be separated at 23rd. Street. The motion carried 5-1.

Commissioner Anderson asked staff to add changing the R3 zoning code uses permitted outright on a future agenda.

IV. STAFF-COMMISSION COMMUNICATIONS:

A. Query of Commissioners for the June 10, 2026, meeting.

All commissioners in attendance should be in attendance for the June 10, 2026, meeting, besides Commissioner Wolf . Commissioner Cable stated she will not be at the June 24th meeting. Staff Hollingshead stated there will be three public hearings at the next meeting.

V. ADJOURN

There being no further business, Commissioner Anderson and Chair Iacoboni moved and seconded, respectively, to adjourn. The motion carried 6-0, and the Planning and Zoning Commission adjourned at approximately 7:59 p.m.

RESPECTFULLY SUBMITTED,

Dawn Ortiz,
Recording Secretary

Chairperson or Acting Chairperson
Planning and Zoning Commission

Approved this _____ day of _____, 2026.

**CITY OF LEWISTON PLANNING AND ZONING COMMISSION
REASONED STATEMENT OF RELEVANT CRITERIA AND
STANDARDS FOR GRANTING OR DENIAL OF
ZONING DISTRICT BOUNDARY CHANGE/REZONE**

This document shall serve as memorialization of the rationale for the granting or denial of a zoning district boundary change/rezone, which shall be based upon relevant criteria and standards, including the Lewiston Comprehensive Plan, Lewiston City Code, and Idaho Code. *See* I.C. § 67-6535.

I. APPLICATION NUMBER:

ZNC24-5

II. APPLICANT'S NAME AND ADDRESS:

City of Lewiston Planning and Zoning Commission
c/o Katie Hollingshead, Assistant Planner
215 D Street
Lewiston, ID 83501

III. IDENTIFICATION AND/OR LOCATION OF SUBJECT PROPERTY:

Approximately 704 properties in the areas generally described as east of 17th Street to 21st Street, between 11th Avenue and 19th Avenue, and east of 21st Street to 29th Street, between East Main Street and Nez Perce Drive as depicted on the attached maps, Map 1A, 2A, 1B, 2B, C, 1D and 2D.

IV. DATE OF PUBLIC HEARING:

May 27, 2026

V. NAME OF HEARING BODY:

Lewiston Planning and Zoning Commission

VI. NATURE OF APPLICATION:

A proposal to rezone property currently located in the Low Density Residential, R-2, zone to the Medium Density Residential, R-3, zone in the areas generally depicted in Maps 1A and 2A. A proposal to rezone property currently located in the Low Density Residential, R-2, zone to the Higher Density Residential, R-4, zone in the areas generally depicted in Maps 1B and 2B. A proposal to rezone property currently located in the Low Density Residential, R-2, zone to the General Commercial, C-4, zone in the areas generally depicted in Map C. A proposal to rezone property currently located in the Low Density Residential, R-2, zone and Medium Density Residential, R-3, zone to the Regional Commercial, C-6, zone in the areas generally depicted in Maps 1D and 2D. This proposal is limited to the area generally described as east of 17th Street to 21st Street, between 11th

Avenue and 19th Avenue, and east of 21st Street to 29th Street, between East Main Street and Nez Perce Drive, and depicted in the aforementioned maps.

VII. DECISION:

The Lewiston Planning and Zoning Commission recommends **APPROVAL** of **ZNC24-5** to the Lewiston City Council, subject to a map amendment on Map 1B, changing the area south of 11th Avenue to vacated 15th Avenue, and east of 23rd Street to 24th Street from the proposed Higher Density Residential, R-4, zone to the Medium Density Residential, R-3, zone as shown on the attached maps titled Map 1B original and Map 1B amendment.

VIII. RELEVANT CONTESTED FACTS RELIED UPON:

The relevant contested facts relied upon are:

Public comment was received from several property owners in the proposed rezone areas with concerns regarding density, increased traffic, and loss of neighborhood feel. The public comments received are generalized as follows:

Diane Marsh, Lewiston: Wanted to know what the intent of the rezone was and if property taxes would increase.

Linda Weime, Lewiston: Stated she would like the Commission to move the line for the start of the R-3 zone from 24th Street to 23rd Street since it was a whole neighborhood and it should all be the same.

Mario Telly, Lewiston: Doesn't understand the point of the upzone since the size of his property doesn't change. Feels like he is being penalized.

Jake Sully, Lewiston: Asked if any of the Commissioner's lived in the neighborhoods they were trying to rezone and stated that they were making decisions for property owners.

Walt Weime, Lewiston: Stated that the Commission isn't considering that a developer could purchase three properties in a row and then build an apartment complex.

Debbie Blake, Lewiston: Retired after 40 years in the insurance industry, maybe cities do have "grandfather clauses" for properties that don't meet standards but frequently those "grandfather clauses" go away when the building sells. Also noted that if a building is destroyed by fire, the new building has to follow current building codes when being rebuilt.

Sherena Telly, Lewiston: Concerned about the Salvation Army building and its ability to become a homeless shelter, stated that there are already homeless people living in their cars on the street next to the Salvation Army and that the weeds are really bad and they are not being kept up.

Brian Startwell, Lewiston: Also wanted to know about the possibility of a developer purchasing consecutive lots and building an apartment complex. Wanted to know how many units could be built if someone had three lots.

Larry Dean, Lewiston: Concerned about people building apartment complexes in the neighborhood. A developer could buy up properties and put apartments in. Apartments coming in means families going out. It's a nice neighborhood with families and long-term residents.

Irene Everett, Lewiston: Wanted to clarify that the proposed rezone was really just semantics. That the Commission was trying to rezone so that more of the properties that already exist would be in compliance with current zoning code.

Troy Crawford, Lewiston: Stated he had missed the staff presentation and wanted to know if the proposal was just another way of raising property taxes.

Dawn Ortiz, Community Development Office Supervisor, asked whether the Commission had received a letter dated May 18, 2026 from Suzanne Woodward and David George that had been emailed to them. All Commissioners confirmed receipt.

Mrs. Ortiz then read an email from Lacey Robbins of 2327 11th Ave Lewiston Idaho. Ms. Robbins' letter was in opposition to the proposed rezone and stated that the proposal assumes substantial future growth in the area that would demand significant increases in density and commercial space. She states that available data does not support that assumption and quoted recent Idaho Department of Labor population data and national demographic trends. She states that there were many negative impacts from the proposal on the quality of life in the neighborhood, including: increased traffic congestion, increased noise, increased strain on the roads, increased parking problems, reduced privacy, increased pedestrian and traffic safety concerns, increased opportunities for pedestrian and vehicle collisions, construction disruption and changes to neighborhood character and quality of life.

Mrs. Ortiz read an email from Anthony Robbins of 2327 11th Ave Lewiston Idaho. Mr. Robbins stated that he opposed the proposed zoning changes specifically identified on Map 1B and Map 1B from the public hearing notice. He stated that Lewiston City Code Sec. 37-42, R-3 medium density residential zone municipal code this zoning change violates the expressed purpose of R-3 zoning, which must satisfy two requirements. Those two requirements are 1) To provide land for the development of multifamily dwellings, and 2) to provide an orderly transition from more intensive, high density uses to less intensive, lower density uses. It was his belief that this proposal failed the second purpose requirement because the rezone provided for the addition of more dense housing options than currently allowed.

Mrs. Ortiz read an email from Walt Wieme. Mr. Wieme stated that he did not think that the city staff and Commission were considering the long-term consequences of broadly rezoning stable, low vacancy, established single-family neighborhoods. He encouraged the Commission to consider substantial modifications to the proposal.

REASONED STATEMENT OF RELEVANT CRITERIA AND STANDARDS
FOR ZNC24-5

Page 3 of 12

Mrs. Ortiz read an email from Sherena and Mario Telly at 1219 17th Street. The Telly's stated they were concerned the proposed rezone would shove more people into an already tight neighborhood and said that they have already seen an increase in shady foot traffic up and down 17th Street. They stated there are people living in their cars by the Salvation Army, and the Salvation Army does not keep the weeds down at its property. They also note that there is a rental property next door to their home that college students frequently rent and have parties. They are concerned about allowing more residents into the small lots in their neighborhood.

IX. RELEVANT CRITERIA AND STANDARDS:

The following relevant criteria, standards, facts, and considerations are hereby declared as reasons for the decision on this zoning district boundary change/rezone:

1. The proposed rezone **is** in general conformance with the Lewiston Comprehensive Plan. Applicable commentary:

This proposed rezone stems from the Envision Lewiston 2044 Comprehensive Plan that was adopted by the City Council in July 2024. As part of this plan, an action plan was developed and a work committee (the "Committee") comprised of City Council members, Planning and Zoning Commission members, and City staff was formed to complete the goals and objectives outlined in the action plan.

The land use goals and objectives this Committee concentrated on were:

- LU.1.1: Optimize zoning alignments. Align incompatible zoning and land uses and development regulation with the Future Land Use Map to establish consistent and compatible growth patterns.
- LU.1.1.1: Conduct a comprehensive review of the Land Use Code to identify and modify zoning regulations that do not align with the desired development outlined in the future land use map and land use categories.
- LU.1.3: Balance land uses. Establish land use patterns that accommodates various land uses in proportion to the needs of the community.

City staff evaluated residential areas around the 21st Street commercial corridor and presented options to the Committee for potential rezoning to Medium Density, R-3, Residential and Higher Density, R-4, Residential zones. Staff evaluated the dimensions and square footage of lots in these areas and found that a majority of the lots did not meet the dimensional standards or total lot square footage of the Low Density, R-2, Zone that they are situated in. Staff found that a rezone of these properties to the Medium Density, R-3, Residential Zone would bring more of these lots into conformance with the R-3 zone having a minimum lot width of 50 feet, a minimum lot depth of 80 feet, and a minimum lot size of 6,000 square feet. Staff worked with the Committee to also identify properties immediately adjacent to the Regional Commercial, C-6, Zone along 21st Street that would be appropriate to rezone to Higher Density, R-4, Residential Zone to create a buffer zone between the existing commercial corridor and the residential neighborhoods to the east and west.

Staff brought the proposed rezone to the Planning and Zoning Commission for initiation on December 11, 2024. At that time, City staff had identified 704 properties that would be affected by the upzone proposal and determined the size of each property. City staff worked with the City Surveyor on collecting legal descriptions of all the affected properties. City staff have received some responses to the proposed rezone of the subject properties. Many of these responses raised concern regarding increased density in the subject areas, increases in property taxes, and increased vehicular traffic. City staff noted that a majority of the properties would only qualify for a duplex or an accessory dwelling unit, and very few of the identified properties would be able to qualify under current City Code for a triplex or more dwelling units based on their square footage alone. Therefore, City staff do not anticipate traffic to significantly increase as a direct result of this rezone action.

As part of the proposed rezone, City staff also identified parcels adjacent to the Regional Commercial, C-6, Zone that were split zoned—meaning half the parcels were zoned C-6 and the other half were zoned R-2. These parcels were added to the proposed rezone by the Committee to fix this non-conformity. The split zoned parcels are partially due to the vacation of 24th Street south of 14th Avenue. 24th Street had previously served as the division between the commercial zone and the residential zone in this area. Staff also identified a pocket of R-2 zoned property in between the C-6 Zone and a section of C-4 Zoned property east of 24th Street and south of 16th Avenue that also created some nonconformities. The intent of rezoning these areas as recommended is to clean up these nonconformities to be consistent with the Comprehensive Plan.

The majority of public comments received regarding the application expressed opposition to the proposed rezone of the subject properties. Many speakers referenced the existing character and built environment of the affected neighborhoods, expressed a preference for maintaining lower-density residential development patterns, and questioned the necessity of the proposed zoning changes. Several commenters also voiced concerns regarding potential impacts on property values and the possibility that the rezone could facilitate additional commercial or multifamily development in areas that have historically been developed with single-family residential uses.

A significant theme throughout the public testimony was concern regarding whether the proposed rezone is consistent with the goals, policies, and land use designations of the City's Comprehensive Plan. Commenters questioned whether the proposed zoning districts appropriately reflect the established development patterns of the areas and whether the changes would advance the long-term planning objectives identified by the City.

Commissioner Anderson noted that both the Committee and City staff have received numerous inquiries from property owners within the proposed rezone area. She highlighted concerns that the current zoning regulations have created challenges for some property owners whose lots and existing developments do not conform to present zoning standards, resulting in difficulties when selling, insuring, or improving their properties.

Assistant City Planner Hollingshead reported that Community Development staff's review found that approximately 58.8% percent of the properties within the affected area are currently

nonconforming under existing zoning requirements. Testimony was also provided by Assistant City Planner Hollingshead indicating that the proposed rezone could reduce the number of nonconforming properties and provide some property owners with greater flexibility to maintain, improve, or redevelop their properties in a manner consistent with existing development patterns. However, it was also noted that the proposed zoning changes would not eliminate nonconformities for all affected properties, and some parcels would remain subject to existing limitations.

The Commission ultimately unanimously found that the proposed rezone of the subject areas was in conformance with the Comprehensive Plan.

2. The subject property **is** at least as well suited or is better suited for the proposed zoning district than the existing zoning district. Applicable commentary:

City staff evaluated residential areas around the 21st Street commercial corridor and presented options to the Committee for potential rezoning to Medium Density, R-3, Residential and Higher Density, R-4, Residential zones. City staff evaluated the dimensions and square footage of lots in these areas and found that a majority of the lots did not meet the dimensional standards or total lot square footage of the Low Density, R-2, Zone that they are situated in. City staff found that a rezone of these properties to the Medium Density, R-3, Residential Zone would bring more of these lots into conformance with the R-3 zone having a minimum lot width of 50 feet, a minimum lot depth of 80 feet, and a minimum lot size of 6,000 square feet. City staff worked with the Committee to also identify properties immediately adjacent to the Regional Commercial, C-6, Zone along 21st Street that would be appropriate to rezone to Higher Density, R-4, Residential Zone to create a buffer zone between the existing commercial corridor and the residential neighborhoods to the east and west.

Additionally, Assistant City Planner Hollingshead stated that the areas identified for rezoning would allow for future infill development in a scale appropriate way, over an extended period of time consistent with the City's Future Land Use Map and create buffer areas between existing commercial and lower density residential development in areas further away from the 21st Street commercial corridor.

For example, in the areas south of East Main, she noted the following:

- Plats were done in the early 1900's.
- Majority of the lots were platted as 50' x 125' (6,250 square feet total).
- Infill is unlikely to occur, at least until water line/infrastructure upgrades occur.
- Additional housing on existing lots would be limited to Accessory Dwelling Units.

For example, in the Sunset Addition, she noted the following:

- Pinewood Plats started in the 1930's.
 - Mixed bag of lot sizes with lots along 8th, 9th, and 11th Avenues not meeting the 7,500 square foot lot size minimum.
 - 9th Ave: Many lots are either 60' x 115' (6,900 square feet) or 65' x 115' (7,475 square feet).

- Lots on the interior, such as Sunset Drive and Willow Drive, do meet the square foot minimum requirements, but they have steep, sloped grades. These residences were often built to maximum lot coverage requirements.

For example, in the area east of 21st Street and west of Sunset Park, she noted the following:

- Abuts the commercial zone on 21st Street.
- R-4 Higher Density Zone would serve as a transition or buffer zone between the existing commercial uses, major arterials and residential districts.
 - Minimum lot size is 5,000 square feet.
- R-3 Medium Density Residential has a minimum lot size of 6,000 square feet.
 - Majority of lots in this area average 7,100 square feet.

For example, in the area of 21st Street to 17th Street, the Blanchard Heights and Yantis Additions, she noted the following:

- Blanchard Heights started in the late 1890's.
- Yantis Addition started in 1920's.
- The proposal would connect existing R-3 zones, instead of having them split by an area zoned R-2.
 - Area north of 11th Avenue to 8th Avenue are currently R-3.
 - South of 17th Avenue is currently R-3.
- Lots in this area are as small as 4,800 square feet.

Members of the public expressed a variety of concerns regarding the proposed rezone. Several commenters focused on the potential effects of increased residential density, including additional traffic, increased demand for on-street parking, noise, impacts to existing roads and public infrastructure, and related safety concerns. Commenters also raised concerns about potential changes to neighborhood character and quality of life. Some expressed concern that the proposed zoning could make it easier for adjoining lots to be combined and developed into larger multi-family projects, such as apartment complexes, not currently allowed in the R-2 zone by right.

Public testimony also addressed the challenges associated with nonconforming properties under the current zoning regulations. Several commenters noted that if a nonconforming home were substantially damaged or destroyed, current City Code requirements may prevent the home from being rebuilt in its existing location or configuration.

The Commissioners and City staff expressed support for the proposed rezone because it would reduce the number of nonconforming properties and, in many cases, allow homeowners to rebuild their homes in a manner consistent with existing developments. Testimony also indicated that, where a property remained nonconforming, owners may have greater ability to seek administrative relief, such as a variance, to facilitate reconstruction.

Commissioner Battles characterized the proposal as a correction to the zoning map, explaining that past amendments to the zoning code were not accompanied by corresponding updates to zoning district boundaries. As a result, the current zoning districts no longer accurately reflects the existing development pattern in many of these areas.

Commissioners Wolf and Cable similarly observed that the proposed rezone would not alter the existing built environment or require changes to established neighborhoods. Rather, they viewed the proposal as bringing the zoning designations into closer alignment with the properties as they currently exist and are developed.

Commissioner Anderson noted that as proposed, approximately 58.8% of the properties to be rezoned are “at least, or better” suited for the higher zoning designation because as-is they are nonconforming to their current zoning designation and rezoning these properties would bring them into or closer to compliance with current zoning requirements.

Commissioner Ball expressed concern regarding whether the proposed rezone from the R-2 Zone to the R-3 Zone is suitable for the subject properties. She noted that, although some of the lots may be smaller in size and developed more closely together, many of the affected properties are located within established, single-family residential neighborhoods that are walkable, family-friendly, and have a distinct residential character.

Commissioner Ball acknowledged that the lot sizes may support R-3 zoning from a technical standpoint. However, she expressed concern that the existing character of the neighborhoods—including the predominance of single-family homes, the walkable environment, and the overall residential feel—does not support a higher-density zoning designation. She stated that allowing additional density could change the character of these neighborhoods and reduce some of the protections currently provided to homeowners under the R-2 Zone.

The Commission found that the proposed rezone does not, by itself, alter the existing built environment or authorize any specific development project. Rather, they noted that the proposal from City staff is intended to provide additional flexibility for infill development and redevelopment that is compatible with the character and development pattern of the surrounding residential neighborhoods, subject to applicable development standards and review processes.

Four Commissioners (Battles, Iacoboni, Wolf, and Cable) concluded that the subject properties are at least as well suited, and in many cases better suited, for the Medium Density Residential, R-3, Zone than the existing Low Density Residential, R-2, Zone. In reaching this conclusion, they noted that approximately 58.8 percent of the affected properties (414 properties) are currently nonconforming with one or more R-2 zone development standards, indicating a substantial mismatch between the existing zoning designation and the development pattern that exists on the ground.

Two Commissioners (Anderson and Ball) disagreed and argued that the subject properties were not better suited to the Medium Density Residential, R-3, Zone.

Commissioner Harris was not present at this meeting.

3. The proposed rezone **does not** present foreseen, immitigable impacts of incompatible uses or development being located in the same vicinity. Applicable commentary:

In evaluating this criterion, the Commission considered the existing built environment, the purpose of the proposed rezone, public testimony, and the likelihood of future development patterns within the affected areas.

The City staff report and Assistant City Planner Hollingshead noted that this action is primarily intended to bring zoning designations into closer alignment with the existing development patterns of the subject properties, and to eliminate some split zoned properties. A substantial number of properties within the areas to be rezoned are currently nonconforming under the standards of the R-2 Zone due to their lot size, lot coverage, and/or other dimensional requirements. The proposed R-3 or R-4 zoning designations would reduce the number of nonconforming properties and provide greater consistency between the zoning regulations and the existing residential development that has been established over time.

The Commission reviewed the uses allowed by right for the Regional Commercial, C-6, Zone and discussed that it was a more restrictive commercial zone and that properties on the east side of 21st Street were already using these parcels as parking lots for their businesses in the adjacent C-6 zone. The Commission also discussed businesses on the west side of 21st Street (Lewis Clark Early Childhood Development and Riverside Recovery) that operated in the current residential zone under Conditional Use Permits and were adjacent to the C-6 zone. The Commission also discussed the built environment of the subject properties, noting that there was very little vacant land available for additional development.

Members of the public expressed a variety of concerns regarding the proposed rezone. Several commenters focused on the potential effects of increased residential density, including additional traffic, increased demand for on-street parking, noise, impacts to existing roads and public infrastructure, and related safety concerns. Commenters also raised concerns about potential changes to neighborhood character and quality of life. Some expressed concern that the proposed zoning could make it easier for adjoining lots to be combined and redeveloped into larger multi-family projects, such as apartment complexes, not currently allowed in the R-2 zone by right.

The Commission acknowledged the concerns expressed by members of the public regarding the potential for investors or developers to acquire multiple adjacent properties and construct larger multifamily developments, as well as concerns regarding the gradual expansion of commercial uses into established residential neighborhoods. The Commission found these concerns to be understandable and relevant considerations when evaluating future land use patterns. However, they noted that the record does not contain evidence of any pending or proposed development projects that would result in such outcomes, nor was evidence presented by the public or City staff demonstrating that the proposed rezone would foreseeably lead to incompatible uses being established within the affected neighborhoods.

Ultimately, five Commissioners (Battles, Anderson, Iacoboni, Cable, and Wolf) agreed that the proposed rezone to Medium Density Residential, R-3, Zone, and Higher Density

Residential, R-4, Zone, and rezoning the handful of split zoned parcels to Regional Commercial, C-6, Zone and General Commercial, C-4, Zone would not present foreseen immitigable impacts.

Commissioner Ball disagreed and felt that the proposed rezones did present foreseen, immitigable impacts of incompatible uses for the residential areas “because it was opening a door” to future development that did not conform with the current residential character of the affected neighborhoods. As far as the change for the other properties to C-6 and C-4, she was not opposed to rezoning these areas. She stated that expanding commercial zones into the residential areas was dangerous and that the Higher Density Residential, R-4, Zone did not offer enough protection to lower density neighborhoods.

4. The effects of the proposed rezone **are not** anticipated to place undue burden upon delivery of services provided by any political subdivision within the planning jurisdiction, including school districts. Applicable commentary:

Political subdivisions were notified of the proposed rezone of the subject properties. City departments provided no comments. The Commissioners noted the lack of opposition from political subdivisions indicated that they did not object to the proposed zoning of the subject properties. The Commissioners noted that the subject properties were substantially built out and that there were existing utilities already serving these neighborhoods.

5. The size, type, intensity, and density of development expected to occur on the subject property as a result of this rezoning **is** suitable for the area and **will not** unduly burden the neighborhood, public infrastructure, or environmental resources. Applicable commentary:

City staff evaluated residential areas around the 21st Street commercial corridor and presented options to the Committee for potential rezoning to Medium Density, R-3, Residential and Higher Density, R-4, Residential zones. City staff evaluated the dimensions and square footage of lots in these areas and found that a majority of the lots did not meet the dimensional standards or total lot square footage of the Low Density, R-2, Zone that they are situated in. City staff found that a rezone of these properties to the Medium Density, R-3, Residential Zone would bring more of these lots into conformance with the R-3 zone having a minimum lot width of 50 feet, a minimum lot depth of 80 feet, and a minimum lot size of 6,000 square feet. City staff worked with the Committee to also identify properties immediately adjacent to the Regional Commercial, C-6, Zone along 21st Street that would be appropriate to rezone to Higher Density, R-4, Residential Zone to create a buffer zone between the existing commercial corridor and the residential neighborhoods to the east and west.

The Commission discussed the large scale of nonconforming lots (58.8%) in the affected areas and that rezoning to Medium Density Residential, R-3, Zone would bring many of those nonconforming lots into conformance, and, in many cases, allow homeowners to rebuild their homes in a manner consistent with the existing development patterns. The Commission heard testimony from Debbie Blake, Lewiston, who stated that she had been an insurance agent for

40 years and that nonconforming lots and structures did pose a problem when property owners sold or tried to rebuild after a disaster. Commissioner Anderson stated that she thought it was very important that the Commission do what it can so that property owners are able to build back what they previously had should a disaster destroy their home.

Testimony was also provided by Assistant City Planner Hollingshead that the proposed rezone could reduce the number of nonconforming properties and provide some property owners with greater flexibility to maintain, improve, or redevelop their properties in a manner consistent with existing development patterns. However, it was also noted that the proposed zoning changes would not eliminate nonconformities for all affected properties, and some parcels would remain subject to existing limitations.

Commissioner Ball acknowledged that the lot sizes may support R-3 zoning from a technical standpoint. However, she expressed concern that the existing character of the neighborhoods—including the predominance of single-family homes, the walkable environment, and the overall residential feel—does not support a higher-density zoning designation. She stated that allowing additional density could change the character of these neighborhoods and reduce some of the protections currently provided to homeowners under the R-2 Zone.

The majority of public comments received regarding the application expressed opposition to the proposed rezone of the subject properties. Many speakers referenced the existing character and built environment of the affected neighborhoods, expressed a preference for maintaining lower-density residential development patterns, and questioned the necessity of the proposed zoning changes. Several commenters also voiced concerns regarding potential impacts on property values and the possibility that the rezone could facilitate additional commercial or multifamily development in areas that have historically been developed with single-family residential uses.

The Commission acknowledged the concerns expressed by members of the public regarding the potential for investors or developers to acquire multiple adjacent properties and construct larger multifamily developments, as well as concerns regarding the gradual expansion of commercial uses into established residential neighborhoods. The Commission found these concerns to be understandable and relevant considerations when evaluating future land use patterns.

Five Commissioners (Battles, Anderson, Iacoboni, Cable and Wolf) agreed that the current density of the built neighborhoods was suitable and will not unduly burden the neighborhood. The Commission discussed their inability to see into the future for what future Commissions might decide for the City of Lewiston but felt that they were trying to fix a problem where previous Commissions did not look at the full picture of the zoning code and associated zoning maps when making amendments to code.

Commissioner Ball disagreed and stated that the Medium Density Residential, R-3, Zone was not suitable for the area and would unduly burden the neighborhood. She again stated that even small-scale apartments can have a large impact on a neighborhood and that the Low Density Residential, R-2, Zone offers protection to property owners that the R-3 zone does not.

6. The proposed rezone **is** in conformance with Idaho Code 67-6537, Use of Surface and Ground Water. Applicable commentary:

No testimony was received regarding the use of surface and ground water from political subdivisions that received notice or the public. As a result, the Commission determined that there was no credible information to indicate that the proposed areas would not be in conformance with Idaho Code § 67-6537.

Pursuant to Idaho Code § 67-6519(5)(c), if the decision on this application is to deny it and the applicant **could not** take actions to obtain approval, the explanation is: Not applicable.

Pursuant to Idaho Code § 67-6519(5)(c), if the decision on this application is to deny it and the applicant **could** take actions to obtain approval, such actions might include: Not applicable

NOTICE TO APPLICANT AND AFFECTED PERSONS: The Planning and Zoning Commission’s recommendation to the City Council is not a final decision, and thus, shall not be subject to reconsideration or appeal.

By: _____
Signature of Planning and Zoning Commission Chair or Vice Chair or Acting Chair

Printed: _____

Date of Signature: _____

ATTEST: _____
Dawn Ortiz, Community Development Office Supervisor

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Lewiston Planning and Zoning Commission will conduct a public hearing at which you may provide comments/testimony on

Wednesday June 10, 2026 at 5:30 pm.

**COMMUNITY DEVELOPMENT DEPARTMENT BUILDING
2ND FLOOR MEETING ROOM,
215 D STREET LEWISTON, ID 83501**

Seating will be available on a first-come, first-served basis.

This public hearing will be used to determine approval or denial of the following proposal:

PUBLIC HEARING: ZONING CODE AMENDMENT, ZA-03-26

The Planning and Zoning Commission will consider Zoning Code amendments to amend the definitions of “dwelling, multifamily,” “dwelling, two-family” and “class A manufactured home” to include and allow multidwelling unit manufactured homes to comply with 2026 Idaho Legislative Session House Bill 800. The Commission will make a recommendation to City Council to approve or deny this matter.

FOR FURTHER INFORMATION ABOUT THIS PROPOSAL contact Joel Plaskon at the Community Development Department at jplaskon@cityoflewiston.org or (208) 746-1318, ext. 7202.

Submission of Written Comments/Testimony: To ensure that written comments can be forwarded to the Planning and Zoning Commission and relevant city staff prior to the hearing, please submit comments/testimony no later than **5:00 p.m. on Tuesday June 9, 2026** by: Emailing dortiz@cityoflewiston.org or mailing to: Dawn Ortiz, Community Development Department, PO Box 617, Lewiston, ID 83501.

Comments/Testimony for public hearings may also be given in-person at the meeting, during the public hearing.

Public Hearing notice publication date: Sunday May 24, 2026

The City of Lewiston is committed to providing access and reasonable accommodation in its services, programs, and activities and encourages qualified persons with disabilities to participate. If you anticipate needing any type of accommodation or have questions about the physical access provided at this meeting, please contact the meeting coordinator, Dawn Ortiz, at least forty-eight (48) hours in advance of the meeting at dortiz@cityoflewiston.org or (208) 746-1318, ext. 7265.

May 13, 2026

The LEWISTON PLANNING AND ZONING COMMISSION met in the Community Development Department Second Floor Conference Room at 215 "D" Street. Chair Iacoboni called the meeting to order at 5:30 p.m.

I. CALL TO ORDER

COMMISSIONERS PRESENT: Gabriel Iacoboni, Chair; Emily Wolf, Vice Chair; Shaunita Cable; Kyle Harris; Cynthia Ball; Zach Battles; Maureen Anderson via Zoom;

COMMISSIONERS EXCUSED:

STAFF MEMBERS PRESENT: Katie Hollingshead, Assistant Planner; Jennifer Tengono, City Attorney;

II. CITIZENS COMMENTS

None

III. ACTIVE AGENDA

A. APPROVAL OF APRIL 22, 2026 MEETING MINUTES (ACTION ITEM)

Commissioners Ball and Cable moved and seconded, respectively, approval of the April 22, 2026 as written. The motion carried 7-0.

B. APPROVAL OF THE REASONED STATEMENT OF RELEVANT CRITERIA AND STANDARDS APPROVING CONDITIONAL USE PERMIT APPLICATION CUP-26-3 BY BENNETT MANLEY (ACTION ITEM):

Commissioners Wolf and Harris moved and seconded, respectively, to approve the Reasoned Statement for CUP-26-3 as written. The motion carried 6-0-1. Commissioner Anderson did not vote due to a connection loss on Zoom.

C. INITIATION OF ZONING CODE AMENDMENT ZA-03-26 (ACTION ITEM):
Staff Hollingshead provided a verbal presentation on the changes that will be made to Lewiston Zoning Code 37-3 regarding manufactured homes to comply with the 2026 Idaho Legislative Session House Bill 800.

Chair Iacoboni and Commissioner Cable moved and seconded, respectively, to initiate Zoning code amendments to amend definitions in Lewiston Zoning Code 37-3 regarding manufactured homes to comply with 2026 Idaho Legislative Session House Bill 800. The motion carried 7-0.

D. INIATION OF ZONING CODE AMENDMENT ZA-04-26 (ACTION ITEM)

PLANNING AND ZONING COMMISSION MINUTES
May 13, 2026
Page 1

Staff Hollingshead provided a verbal presentation on the changes that will be made to Lewiston Zoning Code Chapter 37, regarding accessory apartments to comply with 2026 Idaho Legislative Session Senate Bill 1354.

Commissioners Battles and Harris moved and seconded, respectively, to initiate Zoning code amendments to amend Lewiston Zoning Code Chapter 37, regarding accessory apartments to comply with 2026 Idaho Legislative Session Senate Bill 1354. The motion carried 7-0.

E. PUBLIC HEARING AND SUBSEQUENT DELIBERATION AND DIRECTION TO STAFF REGARDING THE REASONED STATEMENT FOR SIGN WAIVER APPLICATION V-26-1 BY ZACK CHRISTENSEN OF WALKER'S FURNITURE AT 815 MAIN STREET (ACTION ITEM):

Chair Iacoboni explained the public hearing process, opened the public hearing, and asked staff for a presentation.

Staff Hollingshead provided a verbal summary of the staff report with maps and photos so the commission could get geographically familiar with the area.

Commissioner Cable asked if there was any limitation for signs in the Historic District.

Staff Hollingshead stated that there is and in the historic district, the permitted signs are wall signs, marquee signs, projecting signs, and graphic signs.

Chair Iacoboni asked if there was a code change to cause such a significant change for signs in the historic district.

Staff Hollingshead stated that, this building was not part of the historic district at the time, but in 2018 it was entered in during the expansion of the historic district.

Commissioner Battles asked clarifying questions about the existing signs and the signs intended to be installed.

There being no further questions for the staff, Chair Iacoboni asked for applicant testimony.

Zack Christensen, Coeur d'Alene Idaho, stated they are very excited to come to the community. They are a destination-type store, and they really value the preservation of the historic community. Their signage is very modern and clean, and want to still preserve the historic district.

ZA-03-26, Amending the definition "dwelling, multifamily" and the definition of "Class A manufactured home" to comply with House Bill 800

Sec. 37-3. Definitions.

As used in this chapter:

Dwelling, multifamily means a building, including a multidwelling unit manufactured home, containing more than two (2) dwelling units and that is constructed after June 15, 1976 in accordance with the HUD manufactured home construction and safety standards, containing three (3) or more dwelling units; ~~or~~ or more than one (1) detached single-family dwelling on one (1) lot; ~~or~~ or more than one (1) two-family dwelling on one (1) lot; ~~or~~ or any combination thereof, excluding one (1) single-family dwelling with an accessory apartment.

Dwelling, two-family means a detached building, including a multidwelling manufactured home containing two (2) dwelling units and that is constructed after June 15, 1976 in accordance with the HUD manufactured home construction and safety standards, on a single lot containing two (2) dwelling units.

Manufactured home means a structure, constructed after June 15, 1976, in accordance with the HUD manufactured home construction and safety standards, and is transportable in one (1) or more sections, which, in the traveling mode, is eight (8) body feet or more in width or is forty (40) body feet or more in length, or when erected on site is three hundred twenty (320) or more square feet, and which is built on a permanent chassis and designed to be used as a dwelling with or without a permanent foundation when connected to the required utilities, and includes the plumbing, heating, air conditioning, and electrical systems contained therein, except that such term shall include any structure which meets all the requirements of this definition except the size requirements and with respect to which the manufacturer voluntarily files a certification required by the Secretary of Housing and Urban Development and complies with the standards established under 42 U.S.C. Sections 5401 et seq.

Class A manufactured home means a manufactured home meeting the following standards:

(1) Constructed after June 15, 1976, and certified as meeting the manufactured home construction and safety standards of the Department of Housing and Urban Development;

(2) Shall be multi-sectional and enclose a space of not less than ~~one thousand (1,000)~~ eight hundred (800) square feet;

(3) Roof pitch shall be not less than a three-foot rise for each twelve (12) feet of horizontal run (3:12) and roof shall have minimum six-inch eave or eave and gutter;

(4) Has roofing materials which are generally acceptable for site-built housing. Any roofing material may be used provided it has the appearance of a nonmetallic shingle, shake or tile roof;

(5) Has siding material which has the appearance of wood, masonry or horizontal metal siding. Reflection from horizontal metal siding shall be no greater than that from siding coated with white gloss enamel;

(6) The manufactured home shall be placed on an excavated and backfilled foundation and enclosed at the perimeter such that the home is located not more than twelve (12) inches above grade;

(7) Hitch or tongue of manufactured home shall be removed.

2026 Legislation

HOUSE BILL 800

The status of each bill, resolution, proclamation, and memorial is updated when the offices of the Secretary of the Senate and the Chief Clerk of the House publish the un-official daily journals and should not be deemed official. The official bill actions are located in the final journal, which are maintained by the offices of the Secretary of the Senate and the Chief Clerk of the House. **The daily journals are published at the end of each legislative day.**

Full Bill Information

Individual Links:

Bill Text

Statement of Purpose / Fiscal Note

Legislative Co-sponsors

H0800 by WAYS AND MEANS COMMITTEE

MANUFACTURED HOMES – Amends existing law to revise provisions regarding siting of **manufactured homes** in residential areas.

03/02 Introduced, read first time, referred to JRA for Printing

03/03 Reported Printed and Referred to Business

03/06 Reported out of Committee with Do Pass Recommendation, Filed for Second Reading

03/09 Read second time; Filed for Third Reading

Rules Suspended: Ayes 65 Nays 0 Abs/Excd 5, read in full as required – **PASSED - 60-6-4**

AYES – Alfieri, Barbieri, Beiswenger, Berch, Bingham, Boyle, Bruce, Burgoyne, Cannon, Cayler, Cheatum, Church, Dygert, Egbert, Ehardt, Ehlers, Erickson(Larsen), Fuhriman, Galaviz, Gannon, Garner, Hall(Stone), Handy, Harris, Hawkins, Haws, Holtzclaw, Hostetler, Leavitt, Marmon, Mathias, McCann, Mendive, Miller, Mitchell, Monks, Nelsen, Petzke, Pickett, Pohanka, Price, Rasor, Raybould, Raymond, Redman, Rubel, Sauter, Scott, Shepherd, Shirts, Skaug, Tanner(13), Tanner(14), Thompson, Vander Woude, Veile, Weber, Wheeler, Wisniewski, Mr. Speaker

NAYS – Cornilles, Crane(12), Crane(13), Furniss, Mickelsen, Palmer

Absent – Green, Healey, Hill, Manwaring

Floor Sponsor - Redman

Title apvd - to Senate

03/10 Received from the House passed; filed for first reading

Introduced, read first time; referred to: Local Government & Taxation

03/17 Reported out of Committee with Do Pass Recommendation; Filed for second reading

03/18 Read second time; filed for Third Reading

- 03/24 Read third time in full – **PASSED - 28-5-2**
AYES – Adams, Bernt, Blaylock, Carlson, Cook, Den Hartog, Grow, Guthrie, Harris, Hart, Kohl, Lakey, Lent, Nichols, Okuniewicz, Rabe, Ricks, Ruchti, Semmelroth, Shippy, Taylor, Toews, VanOrden, Ward-Engelking, Wintrow, Woodward, Zito, Zuiderveld
NAYS – Burtenshaw, Foreman, Galloway, Keyser, Lenney
Absent and excused – Anthon, Bjerke(Bjerke)
Floor Sponsor - Toews
Title apvd - to House
Returned from Senate Passed; to JRA for Enrolling
- 03/25 Reported Enrolled; Signed by Speaker; Transmitted to Senate
Received from the House enrolled/signed by Speaker
Signed by President; returned to House
- 03/26 Returned Signed by the President; Ordered Transmitted to Governor
Delivered to Governor at 12:58 p.m. on March 26, 2026
- 03/30 Reported Signed by Governor on March 26, 2026
Session Law Chapter 171
Effective: 07/01/2026

LEGISLATURE OF THE STATE OF IDAHO

Sixty-eighth Legislature

Second Regular Session - 2026

Legislative Co-sponsors

RS33501 / H0800

Senator Rabe
Senator Woodward

Representative Harris
Representative Bingham
Representative Thompson

REVISED

STATEMENT OF PURPOSE

RS33501 / H0800

This legislation makes two changes for manufactured homes. First, it allows manufactured duplexes to be treated as multifamily homes in zoning ordinances. Second, it allows single section manufactured homes that are at least 400 square feet to be placed on lots zoned for single family homes and multi-sectional manufactured homes that are at least 800 square feet to be placed on lots zoned for multifamily homes.

FISCAL NOTE

This legislation causes no increase or decrease in revenue, or additional expenditure of funds at the state or local level of government; therefore, this legislation has no fiscal impact.

Contact:

Representative Jordan Redman
Senator Ben Toews
(208) 332-1000

DISCLAIMER: This statement of purpose and fiscal note are a mere attachment to this bill and prepared by a proponent of the bill. It is neither intended as an expression of legislative intent nor intended for any use outside of the legislative process, including judicial review (Joint Rule 18).

IN THE HOUSE OF REPRESENTATIVES

HOUSE BILL NO. 800

BY WAYS AND MEANS COMMITTEE

AN ACT

RELATING TO MANUFACTURED HOMES; AMENDING SECTION 39-4105, IDAHO CODE, TO REVISE A DEFINITION AND TO MAKE TECHNICAL CORRECTIONS; AMENDING SECTION 67-6509A, IDAHO CODE, TO REVISE PROVISIONS REGARDING SITING OF MANUFACTURED HOMES IN RESIDENTIAL AREAS; AND DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE.

Be It Enacted by the Legislature of the State of Idaho:

SECTION 1. That Section 39-4105, Idaho Code, be, and the same is hereby amended to read as follows:

39-4105. DEFINITIONS. As used in this chapter, the terms defined in this section shall have the following meanings, unless the context clearly indicates another meaning. Where terms are not defined in this chapter and are defined in the currently adopted ~~International Building Code~~ international building code published by the ~~International Code Council~~ international code council, such terms shall have the meanings ascribed to them in that code:

(1) "Administrator" means the administrator of the division of occupational and professional licenses for the state of Idaho.

(2) "Board" means the Idaho building code board, herein created.

(3) "Building inspector" means a person who inspects buildings or structures for compliance with the provisions of this chapter.

(4) "Construction" means the erection, fabrication, reconstruction, demolition, alteration, conversion, or repair of a building or the installation of equipment therein normally a part of the structure.

(5) "Division" means the state of Idaho division of occupational and professional licenses.

(6) "~~International Fire Code~~ fire code" means the ~~International Fire Code~~ international fire code as published by the ~~International Code Council~~ international code council.

(7) "Local government" means any city or county of this state.

(8) "Manufactured home" means a structure, constructed after June 15, 1976, in accordance with the HUD manufactured home construction and safety standards, and is transportable in one (1) or more sections, ~~which that~~, in the traveling mode, is eight (8) body feet or more in width or is forty (40) body feet or more in length, or when erected on site, is three hundred twenty (320) or more square feet, and ~~which that~~ is built on a permanent chassis and designed to be used as a dwelling with or without a permanent foundation when connected to the required utilities, and includes the plumbing, heating, air conditioning, and electrical systems contained therein, except that such term shall include any structure ~~which that~~ meets all the requirements of this subsection except the size requirements and with respect to which the manufacturer voluntarily files a certification required by the

not defined

1 secretary of housing and urban development and complies with the standards
2 established under 42 U.S.C. 5401 et seq. Manufactured homes include multidwelling unit manufactured homes that are constructed in accordance with the
3 HUD manufactured home construction and safety standards.
4

5 (9) "Mobile home" means a factory-assembled structure or structures
6 generally constructed prior to June 15, 1976, and equipped with the neces-
7 sary service connections and made so as to be readily movable as a unit or
8 units on their own running gear and designed to be used as a dwelling unit or
9 units with or without a permanent foundation.

10 (10) "Telecommunications facilities" means all wires, cables, equip-
11 ment, apparatus or other installations necessary to furnish service, by
12 which there is accomplished or may be accomplished the sending or receiving
13 of information, data, message writing signs, signals, pictures, and sounds
14 of all kinds, by aid of such wires, cables, equipment, apparatus or other
15 installations, but shall not include the habitable structure in which such
16 telecommunications facilities are housed.

17 SECTION 2. That Section 67-6509A, Idaho Code, be, and the same is hereby
18 amended to read as follows:

19 67-6509A. SITING OF MANUFACTURED HOMES IN RESIDENTIAL AREAS -- PLAN
20 TO BE AMENDED. (1) By resolution or ordinance adopted, amended, or repealed
21 in accordance with the notice and hearing procedures provided under section
22 67-6509, Idaho Code, each governing board shall amend its comprehensive plan
23 and land use regulations for all land zoned for single-family residential
24 uses, except for lands falling within an area defined as a historic district
25 under section 67-4607, Idaho Code, to allow for siting of manufactured homes
26 as defined in section 39-4105, Idaho Code. For purposes of siting, a manu-
27 factured home consisting of a single dwelling unit may be sited on lots where
28 single-family dwellings are allowed. A multidwelling unit manufactured
29 home may be sited only in areas where multifamily dwellings are allowed.

30 (2) Manufactured homes on individual lots zoned for single-family res-
31 idential uses as provided in subsection (1) of this section shall be in ad-
32 dition to manufactured homes on lots within designated mobile home parks or
33 manufactured home subdivisions.

34 (3) This section shall not be construed as abrogating a recorded re-
35 strictive covenant.

36 (4) A governing board may adopt any or all of the following placement
37 standards, or any less restrictive standards, for the approval of manufac-
38 tured homes located outside mobile home parks:

39 (a) The manufactured home ~~shall be~~ may be either a single section or
40 multisectional and shall enclose a space of not less than one thousand
41 (1,000) square feet at least four hundred (400) square feet for a single
42 section or eight hundred (800) square feet for a multisectional manu-
43 factured home;

44 (b) The manufactured home shall be placed on an excavated and back-
45 filled foundation and enclosed at the perimeter such that the home is
46 located not more than twelve (12) inches above grade, except when placed
47 on a basement foundation;

amend our def

1 (c) The manufactured home shall have a pitched roof, except that no
2 standards shall require a slope of greater than a nominal three (3) feet
3 in height for each twelve (12) feet in width;

4 (d) The manufactured home shall have exterior siding and roofing which
5 in color, material, and appearance is similar to the exterior siding and
6 roofing material commonly used on residential dwellings within the com-
7 munity or which is comparable to the predominant materials used on sur-
8 rounding dwellings as determined by the local permit approval author-
9 ity;

10 (e) The manufactured home shall have a garage or carport constructed of
11 like materials if zoning ordinances would require a newly constructed
12 nonmanufactured home to have a garage or carport;

13 (f) In addition to the provisions of paragraphs (a) through (e) of this
14 subsection, a city or county may subject a manufactured home and the lot
15 ~~upon~~ on which it is sited to any development standard, architectural re-
16 quirement, and minimum size requirements to which a conventional sin-
17 gle-family residential dwelling on the same lot would be subjected.

18 (5) Any approval standards, special conditions and the procedures for
19 approval adopted by a local government shall be clear and objective and shall
20 not have the effect, either in themselves or cumulatively, of discouraging
21 needed housing through unreasonable cost or delay.

22 SECTION 3. An emergency existing therefor, which emergency is hereby
23 declared to exist, this act shall be in full force and effect on and after
24 July 1, 2026.

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Lewiston Planning and Zoning Commission will conduct a public hearing at which you may provide comments/testimony on

Wednesday June 10, 2026 at 5:30 pm.

**COMMUNITY DEVELOPMENT DEPARTMENT BUILDING
2ND FLOOR MEETING ROOM,
215 D STREET LEWISTON, ID 83501**

Seating will be available on a first-come, first-served basis.

This public hearing will be used to determine approval or denial of the following proposal:

PUBLIC HEARING: ZONING CODE AMENDMENT, ZA-04-26

The Planning and Zoning Commission will consider initiating Zoning Code amendments to the provisions relating to accessory apartments relative to size, parking, and setbacks to comply with 2026 Idaho Legislative Session Senate Bill 1354. The Commission will make a recommendation to City Council to approve or deny this matter.

FOR FURTHER INFORMATION ABOUT THIS PROPOSAL contact Joel Plaskon at the Community Development Department at jplaskon@cityoflewiston.org or (208) 746-1318, ext. 7202.

Submission of Written Comments/Testimony: To ensure that written comments can be forwarded to the Planning and Zoning Commission and relevant city staff prior to the hearing, please submit comments/testimony no later than **5:00 p.m. on Tuesday June 9, 2026** by: Emailing dortiz@cityoflewiston.org or mailing to: Dawn Ortiz, Community Development Department, PO Box 617, Lewiston, ID 83501.

Comments/Testimony for public hearings may also be given in-person at the meeting, during the public hearing.

Public Hearing notice publication date: Sunday May 24, 2026

The City of Lewiston is committed to providing access and reasonable accommodation in its services, programs, and activities and encourages qualified persons with disabilities to participate. If you anticipate needing any type of accommodation or have questions about the physical access provided at this meeting, please contact the meeting coordinator, Dawn Ortiz, at least forty-eight (48) hours in advance of the meeting at dortiz@cityoflewiston.org or (208) 746-1318, ext. 7265.

May 13, 2026

The LEWISTON PLANNING AND ZONING COMMISSION met in the Community Development Department Second Floor Conference Room at 215 "D" Street. Chair Iacoboni called the meeting to order at 5:30 p.m.

I. CALL TO ORDER

COMMISSIONERS PRESENT: Gabriel Iacoboni, Chair; Emily Wolf, Vice Chair; Shaunita Cable; Kyle Harris; Cynthia Ball; Zach Battles; Maureen Anderson via Zoom;

COMMISSIONERS EXCUSED:

STAFF MEMBERS PRESENT: Katie Hollingshead, Assistant Planner; Jennifer Tengono, City Attorney;

II. CITIZENS COMMENTS

None

III. ACTIVE AGENDA

A. APPROVAL OF APRIL 22, 2026 MEETING MINUTES (ACTION ITEM)

Commissioners Ball and Cable moved and seconded, respectively, approval of the April 22, 2026 as written. The motion carried 7-0.

B. APPROVAL OF THE REASONED STATEMENT OF RELEVANT CRITERIA AND STANDARDS APPROVING CONDITIONAL USE PERMIT APPLICATION CUP-26-3 BY BENNETT MANLEY (ACTION ITEM):

Commissioners Wolf and Harris moved and seconded, respectively, to approve the Reasoned Statement for CUP-26-3 as written. The motion carried 6-0-1. Commissioner Anderson did not vote due to a connection loss on Zoom.

C. INITIATION OF ZONING CODE AMENDMENT ZA-03-26 (ACTION ITEM):

Staff Hollingshead provided a verbal presentation on the changes that will be made to Lewiston Zoning Code 37-3 regarding manufactured homes to comply with the 2026 Idaho Legislative Session House Bill 800.

Chair Iacoboni and Commissioner Cable moved and seconded, respectively, to initiate Zoning code amendments to amend definitions in Lewiston Zoning Code 37-3 regarding manufactured homes to comply with 2026 Idaho Legislative Session House Bill 800. The motion carried 7-0.

D. INIATION OF ZONING CODE AMENDMENT ZA-04-26 (ACTION ITEM)

PLANNING AND ZONING COMMISSION MINUTES
May 13, 2026
Page 1

Staff Hollingshead provided a verbal presentation on the changes that will be made to Lewiston Zoning Code Chapter 37, regarding accessory apartments to comply with 2026 Idaho Legislative Session Senate Bill 1354.

Commissioners Battles and Harris moved and seconded, respectively, to initiate Zoning code amendments to amend Lewiston Zoning Code Chapter 37, regarding accessory apartments to comply with 2026 Idaho Legislative Session Senate Bill 1354. The motion carried 7-0.

E. PUBLIC HEARING AND SUBSEQUENT DELIBERATION AND DIRECTION TO STAFF REGARDING THE REASONED STATEMENT FOR SIGN WAIVER APPLICATION V-26-1 BY ZACK CHRISTENSEN OF WALKER'S FURNITURE AT 815 MAIN STREET (ACTION ITEM):

Chair Iacoboni explained the public hearing process, opened the public hearing, and asked staff for a presentation.

Staff Hollingshead provided a verbal summary of the staff report with maps and photos so the commission could get geographically familiar with the area.

Commissioner Cable asked if there was any limitation for signs in the Historic District.

Staff Hollingshead stated that there is and in the historic district, the permitted signs are wall signs, marquee signs, projecting signs, and graphic signs.

Chair Iacoboni asked if there was a code change to cause such a significant change for signs in the historic district.

Staff Hollingshead stated that, this building was not part of the historic district at the time, but in 2018 it was entered in during the expansion of the historic district.

Commissioner Battles asked clarifying questions about the existing signs and the signs intended to be installed.

There being no further questions for the staff, Chair Iacoboni asked for applicant testimony.

Zack Christensen, Coeur d'Alene Idaho, stated they are very excited to come to the community. They are a destination-type store, and they really value the preservation of the historic community. Their signage is very modern and clean, and want to still preserve the historic district.

VI. INITIATION OF ZONING CODE AMENDMENT, ZA-04-26 (ACTION ITEM)

The Planning and Zoning Commission will consider initiating Zoning Code amendments to the provisions relating to **accessory apartments to comply with 2026 Idaho Legislative Session Senate Bill 1354.**

VII. PUBLIC HEARING AND SUBSEQUENT DELIBERATION AND DIRECTION TO STAFF REGARDING THE REASONED STATEMENT FOR SIGN WAIVER APPLICATION V-26-1 BY ZACK CHRISTENSEN OF WALKER'S FURNITURE AT 815 MAIN STREET (ACTION ITEM):

The applicant requests a waiver from the total square footage of signage allowed in the West End Historic District (64 square feet) as stated in Lewiston City Code Section 30-18. The applicant is requesting approximately 365.8 square feet of signage to include three (3) wall signs, one (1) projecting sign and one (1) electronic message center. The Planning and Zoning Commission may authorize waivers from the requirements of Chapter 30, Sign Code subject to the conditions outlined in Lewiston City Code Section 30-23.

VIII. STAFF-COMMISSION COMMUNICATIONS

Soliciting commissioner attendance for the next regularly scheduled meeting of May 27, 2026 (reasoned statement for a sign exception, public hearing on upzone phase 1).

IX. ADJOURN (ACTION ITEM)

The City of Lewiston is committed to providing access and reasonable accommodation in its services, programs, and activities and encourages persons with disabilities to participate. If you anticipate needing any type of accommodation or have questions about the physical access to the facility within which this meeting is being held, please contact City Planner, Joel D. Plaskon at least forty-eight hours in advance of the meeting at (208) 746-1318 extension 7202 or jplaskon@cityoflewiston.org.

MEETING AGENDA

LEWISTON PLANNING AND ZONING COMMISSION

MAY 13, 2026 AT 5:30 P.M.

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING
215 "D" STREET, 2ND FLOOR CONFERENCE ROOM
LEWISTON, ID 83501

Seating will be available on a first-come, first-served basis. All others who wish to observe this meeting may watch and listen to the livestream on their own device(s) by visiting the City of Lewiston’s website at cityoflewiston.org.

COMMISSION MEMBERS: Gabriel Iacoboni, Chair; Emily Wolf, Vice Chair; Zach Battles, Maureen Anderson, Shaunita Cable, Cynthia Ball, Kyle Harris

~~~~~  
**AS A MATTER OF PUBLIC SERVICE AND GOVERNMENTAL TRANSPARENCY, THIS MEETING MAY BE RECORDED, STREAMED LIVE AND/OR ACCESSED AT A LATER TIME. NOTE THAT THIS MAY INCLUDE VIDEO AND AUDIO OF ALL PERSONS PRESENT.**  
~~~~~

I. CALL TO ORDER

II. CITIZENS COMMENTS – An opportunity for citizens to address the Commission with comments and/or questions about Planning and Zoning Commission-related matters that are not a public hearing action item on this agenda. Citizens are asked to limit their time to three minutes each.

III. APPROVAL OF APRIL 22, 2026 MEETING MINUTES (ACTION ITEM)

IV. CONSIDERING APPROVAL OF THE REASONED STATEMENT OF RELEVANT CRITERIA AND STANDARDS FOR CONDITIONAL USE PERMIT APPLICATION CUP-26-3 BY BENNETT MANLEY (ACTION ITEM)

The applicant requests Conditional Use Permit approval for a Multifamily dwelling in the R2A zone, on a 13,050 square foot parcel, located at 3537 13th St C. The applicant is requesting approval to add a 3rd dwelling unit to the existing duplex on the property. The applicant is asking for a waiver of standard of 950 square feet from the 14,000 square feet needed for 3 dwelling units. Multifamily dwelling, meeting the standards of section 37-124.1 of Lewiston City Code is allowable by Conditional Use Permit approval from the Planning and Zoning Commission.

V. INITIATION OF ZONING CODE AMENDMENT, ZA-03-26 (ACTION ITEM)

The Planning and Zoning Commission will consider initiating Zoning Code amendments to amend the definitions of “dwelling, multifamily,” “dwelling, two-family” and “class A manufactured home” to comply with 2026 Idaho Legislative Session House Bill 800.

ZA-04-26, ACCESSORY APARTMENT CODE AMENDMENTS TO COMPLY WITH SENATE BILL 1354

Sec. 37-41.11. Accessory apartments.

Only one (1) accessory apartment, detached from a single-family dwelling, may be constructed in compliance with section 37-131.2 of this Code and:

- (1) An accessory apartment in the Normal Hill North Zone shall provide a minimum of one (1) off-street parking space per bedroom; and
- (2) An accessory apartment in the Normal Hill North Zone shall not be located in front of or project beyond the front wall of the associated single-family dwelling, unless:
 - a. The lot is less than fifty (50) feet in width and there is no abutting alley; or fifty (50) percent of the dwelling is constructed within the rear half of the depth of the lot and there is no abutting alley; or
 - b. It is on the street side of a corner lot and it meets the minimum required street-side yard setback and does not project beyond the front wall of the dwelling on the front yard side.

Sec. 37-41A.11. Accessory apartments.

Only one (1) accessory apartment, detached from a single-family dwelling, may be constructed in compliance with section 37-131.2 of this Code and:

- (1) An accessory apartment in the Normal Hill South Zone shall provide a minimum of one (1) off-street parking space per bedroom; and
- (2) An accessory apartment in the Normal Hill South Zone shall not be located in front of or project beyond the front wall of the associated single-family dwelling, unless:
 - a. The lot is less than fifty (50) feet in width and there is no abutting alley; or fifty (50) percent of the dwelling is constructed within the rear half of the depth of the lot and there is no abutting alley; or
 - b. It is on the street side of a corner lot and it meets the minimum required street-side yard setback and does not project beyond the front wall of the dwelling on the front yard side.

Commented [JP1]: These are from the NHN & NHS Zones.

Sec. 37-131.2. Accessory apartments.

Only one (1) accessory apartment, within, detached from, or attached to a single-family dwelling, may be constructed on any residential lot that is at least five thousand (5,000) square feet zoned for single-family residential use and has only one (1) lawful single-family dwelling located on such lot, subject to the following requirements, ~~except as otherwise provided for in the Normal Hill North and Normal Hill South Zoning Districts:~~

- (1) An accessory apartment shall not exceed ~~six hundred (600)~~ one thousand (1,000) square feet or ~~thirty (30)~~ seventy-five (75) percent of the habitable floor area of the associated single-family dwelling, whichever is greater; ~~provided, however, that an accessory apartment shall never exceed nine hundred (900) square feet;~~
- (2) An accessory apartment shall ~~not contain more than two (2) bedrooms~~ adhere to the maximum lot coverage allowance of the applicable zoning district;
- (3) At least a minimum of one (1) off-street parking space per bedroom, to a maximum of two (2), shall be provided for an accessory apartment, unless the principal dwelling unit does not have off-street parking or the street is not paved and designed or constructed for on-street parking, or unless the

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(Supp. No. 10)

principal dwelling unit is within one-fourth (1/4) mile of transit, an employment area, or commercial services;

- (4) An accessory apartment shall meet the minimum required ~~front, interior-side, and street-side~~ setbacks of the applicable zoning district for the associated single-family dwelling, unless it is a conversion or replacement of an existing, detached accessory building, in which case the minimum setbacks shall be the same as those of the existing, detached accessory building;
- (5) ~~A detached accessory apartment shall not be located in front of or project beyond the front wall of the associated single-family dwelling.~~An accessory apartment shall not exceed the building height of the associated single-family dwelling;
- (6) ~~An accessory apartment shall maintain a minimum of ten (10) feet from the rear property line, or three (3) feet if abutting a rear alley;~~
- (7) ~~An accessory apartment shall not exceed eighteen (18) feet in height if such accessory apartment is a single story or twenty-eight (28) feet in height if such accessory apartment is a two-story; and~~
- (8) An accessory apartment shall be owned by the same person who owns the single-family dwelling to which such accessory apartment is attached to or detached from.

2026 Legislation

SENATE BILL 1354

The status of each bill, resolution, proclamation, and memorial is updated when the offices of the Secretary of the Senate and the Chief Clerk of the House publish the un-official daily journals and should not be deemed official. The official bill actions are located in the final journal, which are maintained by the offices of the Secretary of the Senate and the Chief Clerk of the House. **The daily journals are published at the end of each legislative day.**

Full Bill Information

Individual Links:

Bill Text

Amendment

Engrossment 1 – This is known as the engrossed bill that incorporates adopted amendments. The highest numbered engrossment is the final version that was considered for adoption.

Statement of Purpose / Fiscal Note

S1354aa by STATE AFFAIRS COMMITTEE

ACCESSORY DWELLING UNITS – Amends and adds to existing law to revise provisions regarding prohibitions against restrictive covenants banning accessory dwelling units and to establish provisions regarding accessory dwelling units in the Local Land Use Planning Act.

- 03/02 Introduced; read first time; referred to JR for Printing
- 03/03 Reported Printed; referred to Local Government & Taxation
- 03/12 Reported out of committee; to 14th Order for amendment
- 03/17 Placed in the Committee of the Whole
 - Reported out without recommendation, as amended
 - Amendments ordered printed; referred for engrossment
- 03/18 Amendments reported printed
 - Reported engrossed, filed for first reading, as amended
 - Read first time as amended, filed for Second Reading
- 03/19 Read second time as amended, filed for Third reading

- 03/20 Read third time in full as amended – **PASSED - 25-10-0**
AYES – Adams, Bjerke(Bjerke), Blaylock, Carlson, Den Hartog, Galloway, Harris, Hart, Kohl, Lakey, Lent, Nichols, Okuniewicz, Rabe, Ruchti, Semmelroth, Shippy, Taylor, Toews, VanOrden, Ward-Engelking, Wintrow, Woodward, Zito, Zuiderveld
NAYS – Anthon, Bernt, Burtenshaw, Cook, Foreman, Grow, Guthrie, Keyser, Lenney, Ricks
Absent and excused – None
Floor Sponsor - Toews
 Title apvd - to House
- 03/23 Received from the Senate, Filed for First Reading
 Read First Time, Referred to Business
- 03/26 Reported out of Committee with Do Pass Recommendation, Filed for Second Reading
 Rules Suspended: Ayes 65 Nays 0 Abs/Excd 5, read in full as required – **PASSED - 47-23-0**
AYES – Alfieri, Barbieri, Beiswenger, Berch, Bingham, Bruce, Burgoyne, Cayler, Cheatum, Church, Crane(12), Dygert, Egbert, Ehardt, Ehlers, Erickson, Furniss, Galaviz, Gannon, Garner, Green, Handy, Harris, Hawkins, Haws, Healey, Hill, Holtzclaw, Hostetler, Leavitt, Manwaring, Marmon, Mathias, Mendive, Miller, Mitchell, Pickett, Price, Rasor, Redman, Rubel, Scott, Shepherd, Shirts, Thompson, Wisniewski, Mr. Speaker
NAYS – Boyle, Cannon, Cornilles, Crane(13), Fuhriman, Hall(Stone), McCann, Mickelsen, Monks, Nelsen, Palmer, Petzke, Pohanka, Raybould, Raymond, Sauter, Skaug, Tanner(13), Tanner(14), Vander Woude, Veile, Weber, Wheeler
Absent – None
Floor Sponsor - Bingham
 Title apvd - to Senate
- 03/27 Returned From House Passed; referred to enrolling
- 03/30 Reported enrolled; signed by President; to House for signature of Speaker
 Received from Senate; Signed by Speaker; Returned to Senate
 Reported signed by the Speaker & ordered delivered to Governor
 Reported delivered to Governor at 2 p.m. on 03/30/26
- 04/01 Signed by Governor on 03/31/26
 Session Law Chapter 265
 Effective: 07/01/2026

REVISED

STATEMENT OF PURPOSE

RS33575 / S1354

This legislation ensures that homeowners may construct accessory dwelling units (ADUs) and prevents cities from banning or unreasonably restricting them. It amends Idaho's Local Land Use Planning Act by treating ADUs as a residential use allowed by-right if certain conditions are met, with clear, objective standards for approval.

FISCAL NOTE

This legislation is not expected to impose any fiscal costs on the State of Idaho. The bill does not create new state programs, mandate new spending, or authorize appropriations.

Contact:

Senator Ben Toews
Representative Jordan Redman
Senator Tammy Nichols
(208) 332-1000

DISCLAIMER: This statement of purpose and fiscal note are a mere attachment to this bill and prepared by a proponent of the bill. It is neither intended as an expression of legislative intent nor intended for any use outside of the legislative process, including judicial review (Joint Rule 18).

IN THE SENATE

SENATE BILL NO. 1354

BY STATE AFFAIRS COMMITTEE

AN ACT

1 RELATING TO ACCESSORY DWELLING UNITS; AMENDING SECTION 55-3212, IDAHO CODE,
2 TO REVISE PROVISIONS REGARDING ACCESSORY DWELLING UNITS AND TO REMOVE A
3 DEFINITION; AMENDING CHAPTER 65, TITLE 67, IDAHO CODE, BY THE ADDITION
4 OF A NEW SECTION 67-6541, IDAHO CODE, TO ESTABLISH PROVISIONS REGARDING
5 ACCESSORY DWELLING UNITS AND TO PROVIDE A DEFINITION; PROVIDING SEVER-
6 ABILITY; AND DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE.
7

8 Be It Enacted by the Legislature of the State of Idaho:

9 SECTION 1. That Section 55-3212, Idaho Code, be, and the same is hereby
10 amended to read as follows:

11 55-3212. INTERNAL PROHIBITED CONDUCT -- RESTRICTIONS ON ACCESSORY
12 DWELLING UNITS. (1) No covenant, condition, or restriction may be added,
13 amended, or enforced by a homeowner's association or any other parties in
14 such a way that strictly prohibits internal accessory dwelling units, as
15 defined in subsection (3) of this section. The provisions of this section
16 shall not be construed to protect more than one (1) internal accessory
17 dwelling unit per homestead. No homeowner's association shall add, amend,
18 or enforce any covenant, condition, or restriction in such a way that limits
19 or prohibits accessory dwelling units, as defined in section 67-6541, Idaho
20 Code, on any property, land, or structure thereon within the jurisdiction
21 of a homeowner's association, unless the owner of the affected property
22 expressly agrees in writing to such addition or amendment of a covenant,
23 condition, or restriction. Nothing in this section shall be construed to
24 prevent the enforcement of valid covenants, conditions, or restrictions
25 limiting or prohibiting a property owner's right to transfer an interest
26 in land or the structures thereon where such covenant, condition, or re-
27 striction existed and applied to the property at the time the property owner
28 acquired an interest in the property.

29 (2) Notwithstanding the prohibitions provided in subsection (1) of
30 this section, a homeowner's association may adopt reasonable rules govern-
31 ing the use of ~~internal~~ accessory dwelling units otherwise allowed by law,
32 including but not limited to size limits, height limits, setback require-
33 ments, open space requirements, parking controls, and bedroom requirements.

34 ~~(3) (a) An "internal accessory dwelling unit" means a self-contained~~
35 ~~living unit that:~~

36 ~~(i) Includes its own cooking, sleeping, and sanitation facili-~~
37 ~~ties;~~

38 ~~(ii) Is located within a detached, owner-occupied homestead, as~~
39 ~~defined in section 63-701, Idaho Code, or such homestead's at-~~
40 ~~tached or detached garage; and~~

~~(iii) Is used for the purpose of housing relatives of the owner of the homestead or for the purpose of renting to a residential tenant for a period exceeding thirty (30) days.~~

~~(b) An internal accessory dwelling unit does not include an alternative detached structure, motor home, camper, recreational vehicle, tiny home on wheels, or other such similar dwellings on wheels.~~

~~(4) (3)~~ Nothing in this section shall be construed to restrict a homeowner's association from adopting a less restrictive definition of accessory dwelling units.

~~(5) (4)~~ The provisions of this section do not apply to any rentals defined in section 63-1803(4), Idaho Code.

SECTION 2. That Chapter 65, Title 67, Idaho Code, be, and the same is hereby amended by the addition thereto of a NEW SECTION, to be known and designated as Section 67-6541, Idaho Code, and to read as follows:

67-6541. ACCESSORY DWELLING UNITS. (1) No city shall enact or enforce any ordinance, rule, regulation, or policy that bans accessory dwelling units in any residential zoning area within its jurisdiction. An accessory dwelling unit shall be classified as a residential land use for zoning purposes subject to all applicable zoning requirements. "Accessory dwelling unit" means a self-contained living unit that includes its own cooking, sleeping, and sanitation facilities and that is located on the same lot as a single-family primary dwelling. An accessory dwelling unit may be internal, attached, or detached but does not include a motorhome, camper, recreational vehicle, tiny home on wheels, or other such similar dwellings on wheels.

(2) By October 1, 2026, by resolution or ordinance adopted, amended, or repealed in accordance with the notice and hearing procedures provided under section 67-6509, Idaho Code, each city governing board shall amend its comprehensive plan and land use regulations for all land zoned for single-family residential uses, except for lands falling within an area defined as a historic district under section 67-4607, Idaho Code, to:

(a) Allow for one (1) internal accessory dwelling unit within the single-family dwelling and one (1) detached accessory dwelling unit per lot;

(b) Prohibit requiring any off-street parking or guest parking for any accessory dwelling unit;

(c) Prohibit imposing impact fees or utility connection fees on accessory dwelling units that are greater than those imposed on other single-family dwellings;

(d) Prohibit limiting the size of an accessory dwelling unit to less than one thousand (1000) square feet or seventy-five percent (75%) of the size of the primary dwelling;

(e) Prohibit imposing a setback requirement greater than four (4) feet from the side and rear lot lines for an accessory dwelling unit that is not converted from an existing structure or for a new structure constructed in the same location and to the same dimensions as an existing structure, except where a greater setback requirement is necessary for rights-of-way and easements;

(f) Prohibit an owner-occupancy requirement for the primary dwelling or for the accessory dwelling unit;

1 (g) Prohibit imposing a limit on building height that is less than the
2 height of an existing single-family primary dwelling on a lot; and

3 (h) Prohibit restrictions for accessory dwelling units that are more
4 restrictive than restrictions for single-family dwellings within the
5 same zoning area with regard to height, setbacks, lot size, or coverage
6 or building frontage.

7 (3) Accessory dwelling unit projects that meet the jurisdiction's es-
8 tablished land use requirements shall be approved administratively and as a
9 matter of right, without the need for discretionary approval.

10 (4) Any approval standards, special conditions, and procedures for ap-
11 proval adopted by a local government shall be clear and objective and shall
12 not have the effect, either singularly or cumulatively, of discouraging the
13 development of accessory dwelling units through unreasonable cost or delay.

14 (5) Nothing in this section shall prohibit a city from enacting a reg-
15 ulation, standard, or condition that is less restrictive than the require-
16 ments of this section.

17 (6) The provisions of this section shall apply only to cities with a
18 population greater than five thousand (5,000).

19 SECTION 3. SEVERABILITY. The provisions of this act are hereby declared
20 to be severable and if any provision of this act or the application of such
21 provision to any person or circumstance is declared invalid for any reason,
22 such declaration shall not affect the validity of the remaining portions of
23 this act.

24 SECTION 4. An emergency existing therefor, which emergency is hereby
25 declared to exist, this act shall be in full force and effect on and after
26 July 1, 2026.

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Lewiston Planning and Zoning Commission will conduct a public hearing at which you may provide comments/testimony on

Wednesday June 10, 2026 at 5:30 pm.

**COMMUNITY DEVELOPMENT DEPARTMENT BUILDING
2ND FLOOR MEETING ROOM,
215 D STREET LEWISTON, ID 83501**

Seating will be available on a first-come, first-served basis.

This public hearing will be to determine approval or denial of the following proposal:

PUBLIC HEARING AND SUBSEQUENT DELIBERATION AND DIRECTION TO STAFF REGARDING THE REASONED STATEMENT FOR FAIRVIEW TERRACE PLANNED UNIT DEVELOPMENT AMENDMENT BY MILLENNIUM TRUST, LLC (ACTION ITEM):

The applicant requests amendment to the Fairview Terrace PUD to change the zoning designation for the 2.65 acre parcel, Darby Village Subdivision Block 2, also known as RPL 04050020000, from single family residential (similar to Low Density Residential, R2, Zone) to Higher Density Residential, R4, Zone to allow for the development of a higher density residential community consisting of three (3) residential buildings with 48 dwelling units.

FOR FURTHER INFORMATION ABOUT THIS PROPOSAL contact Katie Hollingshead at the Community Development Department at khollingshead@cityoflewiston.org or (208) 746-1318, ext. 7261.

Submission of Written Comments/Testimony: To ensure that written comments can be forwarded to the Planning and Zoning Commission and relevant city staff prior to the hearing, please submit comments/testimony no later than **5:00 p.m. on Tuesday June 09, 2026** by: Emailing dortiz@cityoflewiston.org or mailing to: Dawn Ortiz, Community Development Department, PO Box 617, Lewiston, ID 83501.

Comments/Testimony for public hearings may also be given in-person at the meeting, during the public hearing.

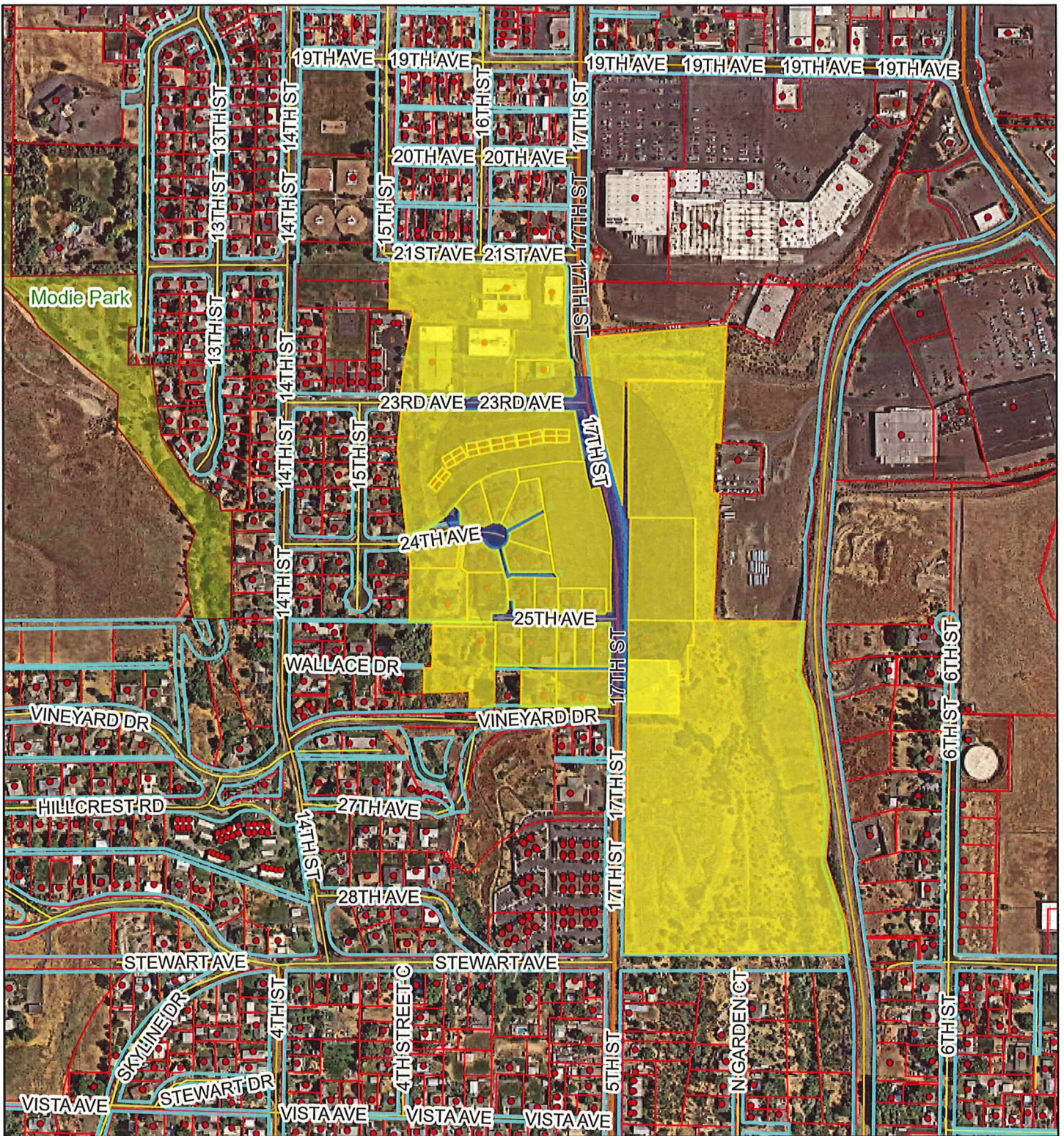
Public Hearing notice publication date: Sunday May 24, 2026.

The City of Lewiston is committed to providing access and reasonable accommodation in its services, programs, and activities and encourages qualified persons with disabilities to participate. If you anticipate needing any type of accommodation or have questions about the physical access provided at this meeting, please contact the meeting coordinator, Dawn Ortiz, at least forty-eight (48) hours in advance of the meeting at dortiz@cityoflewiston.org or (208) 746-1318, ext. 7265.

OWNER1	OWNER2	MAIL_ADD1	MAIL_CITY	MAIL_ST	MAIL_ZIP
HOUSTON PROFESSIONAL PLAZA LLC		1630 23RD AVE STE 101	LEWISTON	ID	83501
BIZJAK EDWARD R JR &	BIZJAK VIKI	1640 25TH AVE	LEWISTON	ID	83501
STONE CHRISTOPHER S &	STONE LISA T	1606 25TH AVE	LEWISTON	ID	83501
23RD AVE SERIES OF	ASPEN INVESTING LLC	1392 TURF FARM WAY STE 1-222	PAYSON	UT	84651
NASH LIVING TRUST	c/o NASH STEVEN C &	PO BOX 911	ASOTIN	WA	99402
ELLY SINGS THE BLUES LLC		515 CRESTLINE CIRCLE CT	LEWISTON	ID	83501
MILLER PAUL A &	MILLER LAURIE M	1115 18TH ST	LEWISTON	ID	83501
PHILLIPS RENALDO &	PHILLIPS MICHELLE	1537 24TH AVE	LEWISTON	ID	83501
SACHS DONALD CHRISTIAN JR		2520 17TH ST	LEWISTON	ID	83501
NEELY DAVID JAMES &	BACHTOLD TINA MARIE	1536 24TH AVE	LEWISTON	ID	83501
OZERAN STEVEN E &	OZERAN STEPHANIE N	1406 WOODSIDE DR	FIRCREST	WA	98466
LEWISTON CENTER PARTNERSHIP		PO BOX 2288	COEUR D'ALENE	ID	83816
WILLIAMS CORINNA SUPP NEEDS TR		1533 24TH AVE	LEWISTON	ID	83501
THOMASON MICHAEL D &	THOMASON TINA M	1609 25TH AVE	LEWISTON	ID	83501
MOOD DOUGLAS K &	MOOD MARION A	1639 25TH AVE	LEWISTON	ID	83501
CORREIA BRENDA		6617 W JUDY AVE	VISALIA	CA	93277
LAUTENSCHLAGER DEAN M &	LAUTENSCHLAGER LAURA L	1605 25TH AVE	LEWISTON	ID	83501
KELLY PATRICK M &	KELLY DEBBIE M	1535 24TH AVE	LEWISTON	ID	83501
ALLEN RICHARD M &	ALLEN SHERI L	566 CRESTLINE CIRCLE DR	LEWISTON	ID	83501
DOUGHTY NICHOLAS &	DOUGHTY JENNIFER	1531 24TH AVE	LEWISTON	ID	83501
KNUDSON JAMIE W &	KNUDSON REBECCA G	1618 25TH AVE	LEWISTON	ID	83501
THOMAS STEVEN W &	THOMAS JEANA M	1638 25TH AVE	LEWISTON	ID	83501
BOLDMAN JAMES &	BOLDMAN DENISE	1533 VINEYARD DR	LEWISTON	ID	83501
POE ASPHALT PAVING INC		PO BOX 449	LEWISTON	ID	83501
BOLLAND TYLER &	BOLLAND LYNDSEY	1318 BIRCH AVE	LEWISTON	ID	83501
MILLENNIUM TRUST L L C		35309 POWELL RD	LEWISTON	ID	83501
BOLDMAN JAMES &	BOLDMAN DENISE	1533 VINEYARD DR	LEWISTON	ID	83501
JAMES DOUGLAS A &	JAMES KIM A	1621 25TH AVE	LEWISTON	ID	83501
FERGUSON GARY W &	FERGUSON JUDITH A REV TRUST	1534 24TH AVE	LEWISTON	ID	83501
WILLOWS ADAM &	WILLOWS STEVI	1636 25TH AVE	LEWISTON	ID	83501
REGENCE BLUESHIELD OF ID INC		10 INVERNESS DR E STE 250	ENGLEWOOD	CO	80112
BRAMLET ALICIA D		2575 34TH ST	OCALA	FL	34471
ZEHRUNG 2011 TRUST	ZEHRUNG BRENT J &	1804 WALLEN RD	TROY	ID	83871

KILFOYLE JERRY P &	KILFOYLE LYNDEE	36 BEDROCK CIR	SANTA CLARA	UT	84765
LRP L L C		1630 23RD AVE STE 101A	LEWISTON	ID	83501
KOPCZYNSKI LARRY J		2501 17TH ST	LEWISTON	ID	83501

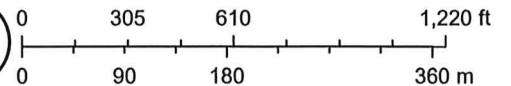
City of Lewiston



5/19/2026, 4:21:41 PM

1:6,627

- adSites result
- Area City Impact
- Parks
- Primary Street Reference
- URBAN PRINCIPAL ARTERIAL
- URBAN MINOR ARTERIAL
- URBAN COLLECTOR
- RURAL MAJOR COLLECTOR
- <all other values>
- City Limit
- ROW
- Street
- Local
- Collector
- Arterial
- Unpaved Residential Alley
- Paved Residential Alley
- Paved Business District Alley
- Alley
- Minor Arterial
- Residential Collector



Vantor



STAFF USE ONLY	
Case Number:	_____
Hearing Date:	_____

APPLICATION FOR ZONE CHANGE

By submitting this application to the City of Lewiston you are entering a quasi-judicial process. As such, you must not discuss the application with any member of the Lewiston Planning and Zoning Commission, or the Lewiston City Council, outside of the public hearing at which this matter will be heard.

APPLICANT INFORMATION

Full Name: Millennium Trust, LLC Contact: Jadon Mader 208-816-9220 Date: May 11, 2026
Last First M.I.

Address: 35309 Powell Road
Street Address Apartment/Unit #

Lewiston, Idaho 83501
City State ZIP Code

Phone: 208-305-9435 208-816-9220 Email: rick@artesianfusion.com

Property Owner: Millennium Trust, LLC Phone: 208-305-9435

Property Owner Mailing Address: _____

DESCRIPTION OF PROPERTY

Street Address of Subject Property: 25th Av - 22nd Ave & 17th street

Subdivision Name: Darby Village -II

Block: Block Two Lot: 2.693 acres + or -

OR, if not part of a subdivision, attach a metes and bounds description

NATURE OF REQUEST

Change **FROM** Zone District: R-2 **TO** Zone District: R-4

The Planning and Zoning Commission shall evaluate a requested amendment to a zoning district to determine the nature and extent of the requested change. If it is in accord with the adopted comprehensive plan, the commission may recommend and the council may adopt or reject the requested change. The commission may request documentation of land use impacts, both existing and proposed, through studies, presentations, or other documents, and may require said documentation to be stamped and signed by professionals deemed qualified by the commission.

NOTE: This application is not an application for development. The applicant shall not submit, nor will the city accept for the purpose of processing this application, any potential, intended, or conceptual development plans. Nor shall the applicant describe or otherwise represent or disclose any potential, intended, or conceptual development plans in the submittal of this application. Potential, intended, or conceptual development plans are not a criteria or factor for the hearing body in its consideration of this application and may unduly influence the consideration of this application.

Please provide **WRITTEN** responses to the following questions:

1. What is the Comprehensive Plan Designation of the property and of the adjoining properties? Describe how the requested zoning classification conforms to the adopted Comprehensive Plan map and text.

Please see attached information

2. Describe how the subject land is at least as well suited or is better suited for the proposed zoning district than the existing zoning district.

Please see attached information

3. Describe how the proposed rezone does not present foreseen, immitigable impacts of incompatible uses or development being located in the same vicinity.

Please see attached information

4. Describe how the effects of the proposed rezone are not anticipated to place undue burden upon delivery of services provided by any political subdivision (i.e. taxing entity) within the planning jurisdiction, including school districts.

Please see attached information

5. Describe how the size, type, intensity and density of development expected to occur on the subject property as a result of this rezoning is suitable for the area and will not unduly burden the neighborhood, public infrastructure or environmental resources.

Please see attached information

6. If the subject property is located within a designated historic district, describe how the requested zone change will not be in conflict with the intents and purposes of Lewiston City Code Chapter 19.5, Historic Districts (A Certificate of Appropriateness from the Lewiston HPC is required).

N/A

APPLICANT'S CERTIFICATION

The applicant(s) hereby certifies that the information contained in this application is true and correct to the best of my/our knowledge.

Signature: Richard Keane Date: May 11, 2026

The Property Owner hereby authorizes this application:

Signature: Richard Keane Date: May 11, 2026

**** INCOMPLETE APPLICATIONS CANNOT BE ACCEPTED****

APPLICATION PROCESS

1. The applicant submits the completed application to the Community Development Department requesting the Zone change. The representative of the Department reviews the application for completeness prior to further processing.

ALL MATERIALS INCLUDED IN THE APPLICATION MUST BE PROVIDED AT THIS TIME. INCOMPLETE APPLICATIONS CANNOT BE ACCEPTED.

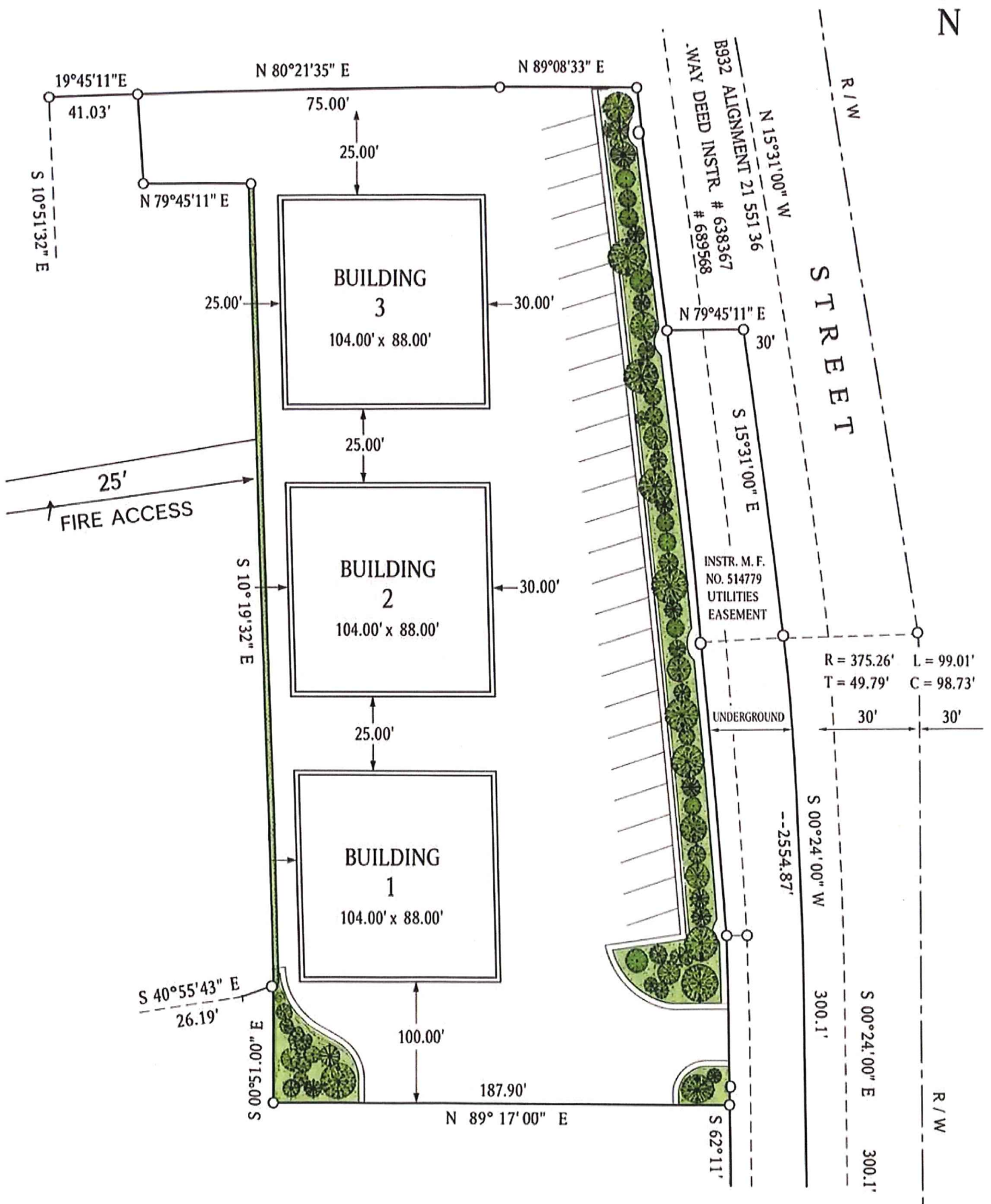
PLEASE NOTE: By submitting this application to the City of Lewiston, you are entering a quasi-judicial process. As such, you must not discuss the application with any member of the Lewiston Planning and Zoning Commission and/or the Lewiston City Council outside of the public hearing at which this matter will be heard.

2. The Community Development Department sets the public hearing date for the application according to the public hearing schedule. The Planning and Zoning Commission holds public hearings on the second and fourth Wednesday of each month. The Commission will make a recommendation on a zone change application to the City Council, who will also conduct a public hearing on the matter and render the decision. The City Council holds public hearings on the second and fourth Monday of each month. **Completed applications must be submitted at least four weeks prior to the public hearing date.** You will be notified of the hearing date when you submit your application.
3. The Community Development Department notifies all residents within 300 feet of the property for which you are requesting the Zone Change. This notifies them of the nature of your application, the date of the public hearing, and solicits comments from them.
4. The Community Development Department solicits comments from public agencies and City Departments so a recommendation can be made.
5. After all comments have been received, the Community Development Department prepares a staff report and recommendation for the Planning and Zoning Commission. You will receive a copy of this report and recommendation in advance of the meeting.
6. The Planning and Zoning Commission holds a public hearing on the request. The applicant is invited to speak as well as others who wish to provide testimony, whether in support or in opposition, to the request. **IT IS STRONGLY RECOMMENDED THAT YOU BE IN ATTENDANCE AT THIS MEETING.**
7. The Planning and Zoning Commission will make a recommendation to the City Council. This recommendation is forwarded to the City Mayor for submittal to the City Council.
8. The City Council sets a public hearing date, generally several weeks away to allow sufficient time for legal notice. The property owners who received notice for the Planning and Zoning public hearing will again receive notice of the City Council public hearing.
9. The City Council holds a public hearing on the request. If the City Council approves the PUD Amendment request. The City Attorney prepares an ordinance for the Council.
10. At subsequent public meetings, the City Council holds the first, second, and third readings of the Ordinance. Following the third reading and adoption of the Ordinance, the Ordinance is published in the newspaper, after which the PUD Amendment becomes final.

APPLICANT'S CHECKLIST

- Completed and signed application with supporting documents;
- Filing fee payable to the City of Lewiston;
- A correct legal description of the property;
- A site plan (11" x 17" or 8 ½" x 11") to scale

a. 28,200%





INTRODUCTION

Millennium Development Group, LLC respectfully submits this Planned Unit Development (PUD) Amendment request for approximately 2.65 acres located within the existing PUD originally approved by the City of Lewiston in or around the year 2000–2001.

This request seeks approval to amend the current R2 residential designation within the PUD to an R4 residential designation in order to allow the development of a higher-density residential community consisting of:

- Three (3) residential buildings
- Forty-eight (48) dwelling units
- Four-story buildings approximately 49 feet in height
- Subterranean parking facilities
- Associated landscaping, site improvements, utilities, and open space amenities

This proposal represents the final major segment of the original approximately 17-acre master-planned development area.

HISTORY OF THE PROPERTY AND ORIGINAL PUD

It is important to note that this property was originally zoned R4 prior to the creation of the existing Planned Unit Development. In approximately 2000, Millennium Development Group, LLC initiated the PUD process in order to create a flexible long-term development plan for the larger 17-acre property. At that time, the future development potential and market conditions for various portions of the property were uncertain.

As part of the original PUD approval process, the company voluntarily modified portions of the original R4 zoning and established varying land use designations throughout the PUD, including residential, light commercial, and mixed-use areas. Certain portions of the property were down-designated to R2 residential classifications with the intent of preserving future flexibility while infrastructure and surrounding development patterns matured over time.

More than twenty-five years later, the community's housing needs, development patterns, and infrastructure capabilities have evolved substantially. The proposed amendment reflects the natural progression and completion of the original vision for the property while responding to current housing demand and comprehensive planning objectives within the City of Lewiston.



INFRASTRUCTURE IMPROVEMENTS AND PUBLIC BENEFITS

Millennium Development Group, LLC has made substantial private investments into public infrastructure benefiting not only this development but also the greater surrounding area of Lewiston.

At the sole expense of the developer, significant utility infrastructure was constructed in an area where such services previously did not exist, including:

- Approximately 1,800 lineal feet of new water lines
- Approximately 1,800 lineal feet of new sewer lines
- Installation of sewer manholes and associated utility infrastructure
- Extension and expansion of critical public utility services into the upper portion of Lewiston

Additionally, the developer allowed for the installation and stubbing of a municipal water line connection into 17th Street, thereby enabling the City of Lewiston to connect to the newer water infrastructure located along Nez Perce Grade Road. This connection opportunity supports the City's long-term utility planning objectives and contributes to the interlooping and redundancy of the municipal water system as contemplated within utility planning studies previously prepared or commissioned by the City of Lewiston.

These infrastructure investments have significantly enhanced the serviceability, reliability, and future growth potential of the surrounding area and represent a meaningful public benefit created through private development efforts.

17TH STREET RIGHT-OF-WAY MATTER

Millennium Development Group, LLC also wishes to acknowledge an existing issue involving a portion of 17th Street, which currently traverses the company's privately owned property. Historically, this roadway segment was constructed and has remained located on property owned by Millennium Development Group, LLC, without formal acquisition proceedings, eminent domain actions, or completed right-of-way dedication processes.

For approximately twenty-six years, the company has continued paying property taxes on the affected area while allowing uninterrupted public use of the roadway. The company desires to work cooperatively and amicably with the City of Lewiston to resolve and correct this longstanding matter in a mutually beneficial manner. Millennium Development Group, LLC remains committed to collaborating with City officials in good faith to address any right-of-way adjustments, easements, dedications, or other appropriate mechanisms necessary to formalize and resolve the situation while moving forward constructively with the proposed residential development.



CONCLUSION

Millennium Development Group, LLC respectfully requests approval of this Planned Unit Development amendment to modify the existing R2 designation to R4 for the subject approximately 2.65-acre parcel.

This request is justified and supported by:

- The property's original R4 zoning history
- Substantial private infrastructure investments benefiting the City
- Consistency with the Lewiston Comprehensive Plan
- Existing and planned utility capacity
- The community need for additional multifamily housing opportunities
- The project's compatible density and site design

The proposed amendment represents a logical and appropriate continuation of the original PUD vision established more than two decades ago and will provide meaningful residential and economic benefits to the City of Lewiston.

Millennium Development Group, LLC appreciates the consideration of the Planning and Zoning Commission and the Lewiston City Council and looks forward to continuing to work collaboratively with City staff throughout the review and approval process.

TRAFFIC ANALYSIS AND CIRCULATION

Millennium Development Group, LLC has also undertaken a preliminary traffic analysis addressing projected traffic generation, circulation patterns, and overall traffic impacts associated with the proposed development. The findings of this preliminary traffic review demonstrate that anticipated vehicle trips generated by the project can be adequately accommodated within the existing and planned roadway network serving the area. Considerations involving ingress, egress, internal circulation, and overall traffic flow have been evaluated and incorporated into the development planning process. The preliminary traffic report is included as a supporting exhibit to this application and is submitted herewith for review by City staff, the Planning and Zoning Commission, and the Lewiston City Council.

Respectfully submitted,

Millennium Development Group, LLC



CONSISTENCY WITH THE CITY OF LEWISTON COMPREHENSIVE PLAN

The proposed PUD amendment is fully consistent with the City of Lewiston Comprehensive Plan and future land use designations applicable to the property. The subject property is identified within the City's future land use map as Community Residential, a designation intended to support townhomes, multifamily residential developments, and higher-density residential uses.

The Comprehensive Plan specifically contemplates residential densities of up to eighteen (18) dwelling units per acre within this designation. The proposed development density associated with this PUD amendment is approximately 17.5 dwelling units per acre, which falls within and complies with the Comprehensive Plan's stated density guidelines.

Accordingly, the requested amendment directly aligns with the City's adopted long-range planning policies by:

- Encouraging efficient land use patterns
- Supporting additional housing opportunities
- Promoting appropriately located multifamily development
- Utilizing existing infrastructure investments
- Enhancing residential housing availability within the community

PROJECT DESIGN AND DEVELOPMENT CHARACTER

The proposed development has been thoughtfully designed to provide a high-quality residential environment that integrates modern construction standards, efficient site utilization, and enhanced neighborhood aesthetics.

Key project features include:

- Three architecturally compatible multifamily residential buildings
- Approximately 48 residential units
- Four-story structures with a maximum height of approximately 49 feet
- Subterranean parking to reduce surface parking impacts and improve aesthetics
- Professional landscaping and site improvements
- Internal circulation and utility infrastructure designed to City standards

The development will provide additional housing opportunities in a location already supported by substantial infrastructure capacity and roadway access.



Estimated full-build traffic for 48 condo units

Period	ITE rate used	Estimated trips
Weekday daily, Mon-Fri	4.54 trips/unit/day	~218 vehicle trips/day
Weekday AM peak hour	0.37 trips/unit	~18 trips/hour
Weekday PM peak hour	0.39 trips/unit	~19 trips/hour

Directional split at the single access point

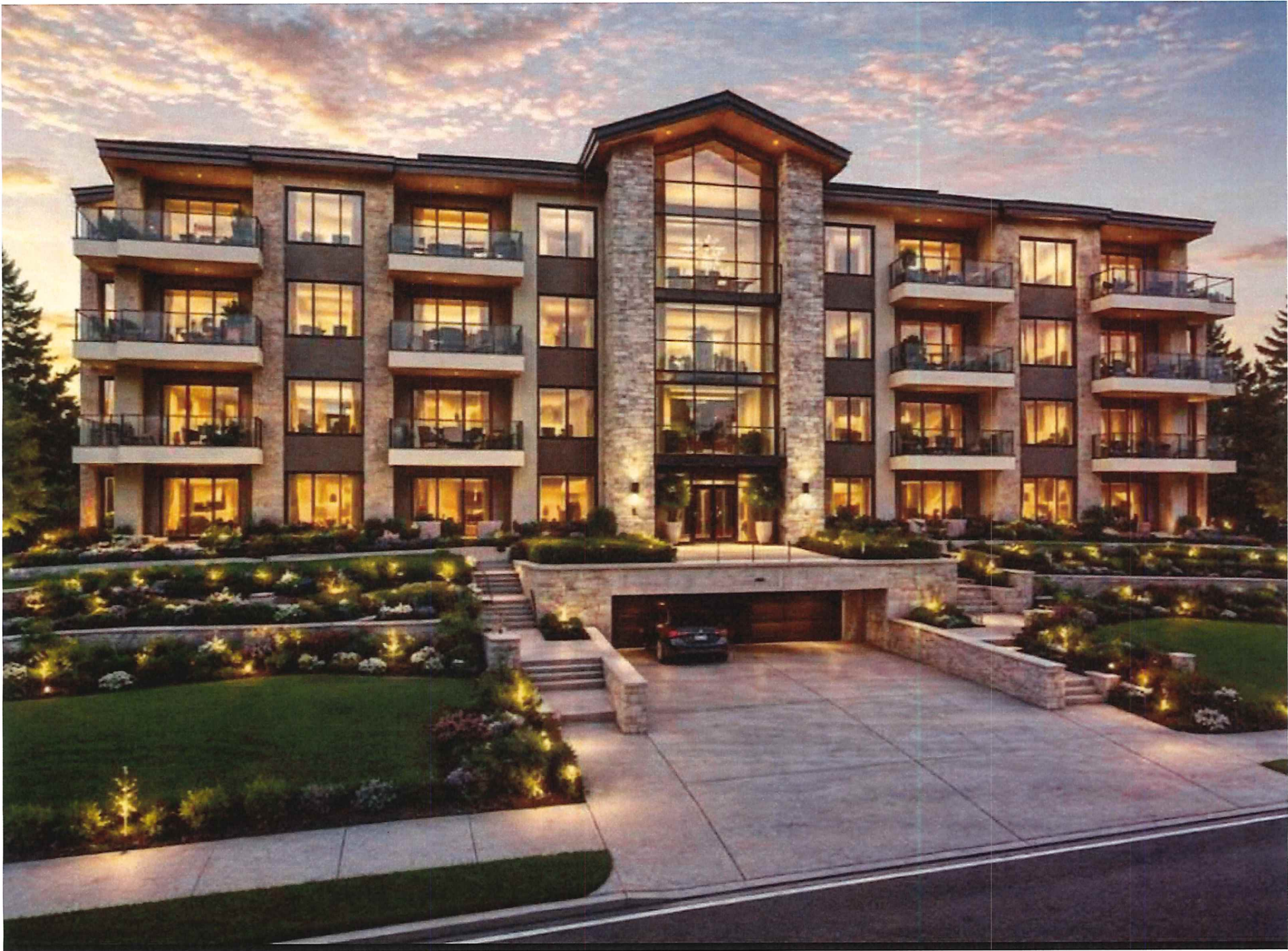
Period	Entering	Exiting	Total
Average weekday daily	~109	~109	~218/day
AM peak hour	~4	~14	~18/hour
PM peak hour	~11	~7	~19/hour

So, at full occupancy, the development would likely add about 220 vehicle trip-ends per weekday to the road. A "trip-end" means one vehicle entering or leaving the site, so one resident leaving in the morning and returning later counts as two daily trip-ends.

For weekends, residential traffic often shifts later in the day and is usually similar or somewhat lower than weekdays. A reasonable planning-level range would be:

Day	Estimated daily trips
Saturday	180-230 trips/day
Sunday	160-210 trips/day

In conclusion this is a relatively modest trip generator. The biggest added load would likely be fewer than 20 vehicles in the busiest hour, all through one driveway. The three-lane street geometry matters for driveway sight distance, turning movements, and safety, but existing road counts and speeds would be needed to determine congestion or whether turn-lane/traffic study thresholds are triggered.





PLANNER'S STAFF REPORT
COMMUNITY DEVELOPMENT DEPARTMENT

Date: 6/3/2026

Case File Number:
PUD-26-1

Applicant:
Millenium Trust, LLC
35309 Powell Road
Lewiston, ID 83501

Property Owner:
Millenium Trust, LLC
35309 Powell Road
Lewiston, ID 83501

Request/Proposal:
The applicant requests amendment to the Fairview Terrace Planned Unit Development to change the zoning designation for the 2.65 acre parcel, Darby Village Subdivision Block 2, also known as RPL04050020000, from single family residential (similar to Low Density Residential, R2, Zone) to Higher Density Residential, R4, Zone to allow for the development of a higher density residential community consisting of three (3) residential buildings with 48 dwelling units.

Subject Property and Surrounding Land Uses:
The subject property is 2.65 acres (115,434 square feet) of vacant land that lays on the west side of 17th Street between 23rd Avenue and 25th Avenue. It is the unplatted portion of the adjacent Darby Village Subdivision to the west side and south side. Houston Plaza Professional Center is adjacent to the north (also within the Fairview Terrace Planned Unit Development). Single family dwellings (both within the Fairview Terrace Planned Unit Development and in the City's Low Density Residential, R2, Zone) are to the west and south. East across 17th Street is vacant land that is zoned Regional Commercial, C6.

PUD-26-1

Related Or Other Pending Discretionary Actions:

None.

Flood Plain, Wetlands, EPA Regulated Site:

NA

Code References:

- **DIVISION 9. - HIGHER DENSITY RESIDENTIAL ZONE R-4**

- **Sec. 37-50. - R-4 higher density residential zone.**

(a) *Purpose.* To accommodate a compatible mixture of higher density residential uses with limited options for scattered, small-scale, low-impact neighborhood service businesses. Such areas are generally in proximity to major community facilities, employers, arterials and commercial development and generally serve as transition or buffer zones between major arterials or more intensively developed areas and residential districts.

(Ord. No. 4108, § 2, 8-15-94; Ord. No. 4249, § 20, 10-25-99; [Ord. No. 4936](#), § 2, 1-27-25)

- **Sec. 37-51. - Uses permitted outright.**

In an R-4 zone the following uses and their accessory uses are permitted outright subject to the provisions of article IV:

- (1) Bed and breakfast facilities, subject to the special conditions of [section 37-13.1\(1\)](#) of this Code;
- (2) Church, subject to the special conditions of [section 37-20.1\(2\)](#) of this Code;
- (3) Class A manufactured home;
- (4) Commercial uses legally established as of December 31, 2004, and which have maintained a valid business license;
- (5) Family day care, subject to the special conditions of [section 37-13.1\(2\)](#) of this Code;
- (6) Group day care, subject to the conditions of [section 37-13.1\(3\)](#) of this Code;
- (7) Intermediate care facility, subject to the special conditions of [section 37-44.1\(1\)](#) of this Code;
- (8) Long-term care facility, subject to the special conditions of [section 37-44.1\(2\)](#) of this Code;
- (9) Manufactured home park, subject to the provisions of [chapter 23](#) of this Code, with a maximum density of eighteen (18) dwelling units per acre;
- (10) Mortuary, subject to the special conditions of [section 37-20.1\(1\)](#) of this Code;
- (11) Multifamily dwelling, meeting the standards of [section 37-124.1](#) of this Code;
- (12) School, subject to the special conditions of [section 37-20.1\(3\)](#) of this Code;
- (13) Preschool, subject to the special conditions of [section 37-20.1\(6\)](#) of this Code;

PUD-26-1

- (14) Single-family dwelling;
- (15) Small lot development subject to the requirements of [section 37-33](#) of this Code, standards for small lot development;
- (16) Tiny house village, subject to the provisions of [chapter 23](#) of this Code, with a maximum density of eighteen (18) dwelling units per acre;
- (17) Two-family dwelling.
(Ord. No. 4108, § 2, 8-15-94; Ord. No. 4161, § 6, 7-1-96; Ord. No. 4249, § 21, 10-25-99; Ord. No. 4385, § 9, 2-14-05; Ord. No. 4386, § 4, 2-14-05; Ord. No. 4433, § 5, 1-9-06; Ord. No. 4499, § 2, 1-28-08; Ord. No. 4676, § 18, 11-28-16; [Ord. No. 4841](#), § 10, 11-14-22; [Ord. No. 4936](#), § 3, 1-27-25; [Ord. No. 4944](#), § 11, 7-14-25)

- **Sec. 37-52. - Conditional uses permitted.**

In an R-4 zone, the following uses and their accessory uses are permitted when authorized in accordance with the standards and requirements in articles IV and IX:

- (1) Repealed by Ord. No. 4742.
- (2) Day care center, subject to the special conditions of [section 37-20.1\(5\)](#) of this Code;
- (3) Dormitory, subject to the special conditions of [section 37-44.1](#) of this Code;
- (4) Eating and drinking establishment. Qualification for an eating and drinking establishment in the R-4 zones is contingent upon it being small-scale and neighborhood oriented with no drive-thru service;
- (5) Intensification, or expansion of commercial uses of ten (10) percent of the building area or more which were legally established and licensed for business and occupation;
- (6) [Reserved;]
- (7) Personal service uses;
- (8) Professional offices, except medical, dental, and banking services;
- (9) Other limited commercial uses that are consistent with the purpose of the R-4 zone and are not detrimental to any of the outright permitted uses or other existing conditional uses or to nearby residential uses;
- (10) Re-establishment of a commercial use which was legally established but where the business and occupation license has lapsed for a period not to exceed one (1) year;
- (11) Replacement of a nonconforming residential use not located abutting a principal or minor arterial street, as identified in the Lewiston Comprehensive Transportation Plan, subject to setback and yard requirements of the R-2 zone;
- (12) Semi-public use, or any use conducted by a private company or nonprofit organization that is substantially the same as or substantially similar to a use normally conducted by a semi-public agency.
(Ord. No. 4108, § 2, 8-15-94; Ord. No. 4249, § 22, 10-25-99; Ord. No. 4322, § 5, 12-9-02; Ord. No. 4328, § 2, 3-24-03; Ord. No. 4385, § 10, 2-14-05; Ord. No. 4386, § 5, 2-14-05; Ord. No. 4531, § 5, 7-13-09; Ord. No. 4742, § 2J, 8-19-19; Ord. No. 4799, § 8, 3-8-21; [Ord. No. 4936](#), § 4, 1-27-25; [Ord. No. 4944](#), § 12, 7-14-25)

- **Sec. 37-53. - Lot size.**

In an R-4 zone, the minimum lot size shall be as follows:

(1) Lot area shall be a minimum of five thousand (5,000) square feet plus an additional one thousand six hundred (1,600) square feet per dwelling unit over one (1).

(2) Lot width shall be a minimum of fifty (50) feet.

(3) Lot depth shall be a minimum of eighty (80) feet.

(Ord. No. 4108, § 2, 8-15-94; Ord. No. 4499, § 2, 1-28-08; Ord. No. 4531, § 5, 7-13-09; Ord. No. 4676, § 19, 11-28-16)

- **Sec. 37-54. - Yards.**

Except as provided in article VIII, in an R-4 zone minimum yard requirements shall be as follows:

(1) A front yard shall be a minimum of twenty (20) feet or thirty-five (35) feet from the centerline of the street, whichever is greater.

(2) A side yard shall be a minimum of five (5) feet and the total of both side yards shall be a minimum of fifteen (15) feet, except that on corner lots the side yard on the street side shall be a minimum of fifteen (15) feet from the property line or thirty-five (35) feet from the centerline of the street, whichever is greater.

(3) A rear yard shall be a minimum of twenty (20) feet.

(4) Side and rear yards shall be increased by one (1) foot for each foot by which a building exceeds a height of thirty-five (35) feet. A front yard shall be increased by one (1) foot for each two (2) feet by which a building exceeds thirty-five (35) feet.

(5) Two-family dwelling units constructed as a use permitted outright in this zone and constructed so as to share a common or adjoining side wall shall be allowed to legally split into two (2) minimum five thousand (5,000) square foot lots, provided the front and rear setbacks are in compliance with this chapter and the side yard opposite the zero-lot line shall be a minimum of fifteen (15) feet. In no case shall the minimum width of the zero-lot line lot be less than fifty (50) feet nor the depth less than eighty (80) feet.

(Ord. No. 4108, § 2, 8-15-94; Ord. No. 4676, § 20, 11-28-16)

- **Sec. 37-55. - Lot coverage.**

In an R-4 zone, buildings shall not cover more than fifty (50) percent of the lot.

(Ord. No. 4108, § 2, 8-15-94; Ord. No. 4676, § 21, 11-28-16)

- **Sec. 37-56. - Height of buildings.**

In an R-4 zone no building shall exceed a height of fifty (50) feet.

(Ord. No. 4108, § 2, 8-15-94; [Ord. No. 4936](#), § 5, 1-27-25)

- **Sec. 37-57. - Reserved.**

Editor's note— Ord. No. 4216, § 1, adopted August 10, 1998, repealed § 37-57, relative to signs permitted in the R-4 zone, which derived from Ord. No. 4108, § 2, adopted August 15, 1994.

[Sec. 37-49. - Reserved.](#)

Comprehensive Plan:

The subject property is located in the Community Residential designation of the Comprehensive Plan Future Land Use Map.

Community Residential is a mid-to high intensity residential use designation. This provides a wide array of housing options. This designation should be located on or near major roadways to ensure high levels of access and provide a transition of intensity from low-intensity residential areas to more intense commercial areas. Ranging from small lot single family, townhomes, and multifamily.

Lands within the Community Residential designation may include very limited commercial uses (mixed-use, neighborhood corner store, child care facilities, business offices that don't have primarily on-site customer service, institutional uses, etc).

Suggested Residential Density Range

8-18 DU/acre, 18+ DU/acre can be considered with the following essential considerations:

Intensity: Provides transition in intensity from adjacent uses/zones.

Access: Located on a collector or arterial roadway with adequate access for the proposed use.

Infrastructure: The existing or planned infrastructure is adequate to meet the needs of the proposed use.

Compatibility: Provides an appropriate transition in building scale from surrounding uses.

Comprehensive Plan Goals, Objectives, and Actions which appear to have relevance in consideration of application PUD-26-1 include:

LU.1 Accommodate future development and redevelopment.

LU.1.1 Optimize zoning alignments. Align incompatible zoning and land uses and development regulation with the Future Land Use Map to establish consistent and compatible growth patterns.

LU.1.1.1 Conduct a comprehensive review of the Land Use Code to identify and modify zoning regulations that do not align with the desired development outlined in the future land use map and land use categories.

LU.1.3 Balance land uses. Establish land use patterns that accommodates various land uses in proportion to the needs of the community.

LU.1.3.2 Evaluate the zoning code to enable compatible uses in more locations to minimize the distance between residents and needed services.

LU.2 Provide housing choices throughout Lewiston.

LU.2.1 Diversify possible housing options. Ensure that a variety of types, scale and density-appropriate housing can be constructed throughout Lewiston, promoting neighborhoods that cater to residents of all incomes, ages, family structures and cultures.

LU.2.1.2 Educate developers and community members about the benefits of missing housing typologies to gather support for such projects.

LU.2.2 Allow for density by ensuring compatibility. Build additional housing types in a scale appropriate way that fits into existing neighborhoods.

LU.2.2.1 Engage residents on concerns and mitigation strategies for denser infill housing.

TC.2.1.3 Support land use policies that promote mixed use development and density of housing and employment to support alternative modes of transportation.

Manage traffic congestion. Have adequate flow, width, and functionality of roadways.

TC2.3.3 Develop access management standards that provide a balance between access to adjoining land and safe and efficient traffic flows.

TC2.4.1 Create and adopt subdivision connectivity standards for new development to ensure it connects with its surrounding.

TC.3.2 Improve coordination of land use and transportation planning. Match uses and infrastructure for maximum efficiency and compatibility between land uses and the transportation system.

TC3.2.1 Require adequate connectivity of new developments to the existing and future transportation system.

ED.2.3 Improve housing affordability for lower-income households. Housing is a critical element in the attraction and long-term retention of employees, and is needed at all levels of income but is mostly in demand at lower price points.

ED.2.3.1 Implement the recommendations outlines in this Plan's Housing Element to address and improve housing affordability for a skilled workforce.

ED.2.3.2 Attract an increased variety of housing types to accommodate new workers.

H.1 Increase housing quality and production

H1.3 Evaluate regulations for barriers to housing. Assess and amend subdivision and zoning regulations to change factors that limit the ability to build new housing where appropriate.

H1.3.2 Encourage more housing through support of conditional use permit and planned unit development application for needed housing types, evaluating and updating zoning code to allow for more needed housing types, and incentives like density bonuses to facility more housing units.

H1.3.3 Study and act to overcome barriers to housing development for housing types that are not currently being built (e.g. multifamily and missing-middle housing). Barriers may include parking requirements, state restrictions on uses of funding, environmental review, developer infrastructure investments, permitting timelines, land availability, lack of land zoned for these housing types, lack of zoning code use by right allowance for these housing types, and others.

H.2 Diversity housing options

H.2.3 Identify infrastructure barriers. Study infrastructure issues that may be limiting the development of Adu's and other denser development types.

H.3.2 Maximize efficient housing development. Encourage denser housing types in areas with infrastructure capacity and transit access.

H.3.2.1 Identify areas within walking distance of existing or planned transit services and direct resources to encourage missing-middle and denser housing types in those locations.

H.3.2.2 Evaluate infrastructure for areas with existing excess capacity and target additional housing resources in those locations.

Input From Other Departments/Agencies:

PUD-26-1

The Engineering Division of Public Works; "Several utility upgrades will be necessary to support the project, and the developer appears to acknowledge these improvements within the submitted PUD Amendment Narrative. The City has completed a Water Study identifying improvements to the existing water system necessary to serve the development (see attached). Additionally, the City has completed a Corridor Study evaluating frontage improvements along the 17th Street grade (see attached), as well as a citywide Stormwater Master Plan identifying required stormwater infrastructure improvements (see attached). Sewer service was previously extended to this parcel during earlier phases of the Darby Village subdivision. The submitted Traffic Impact Statement indicates that the development is expected to generate more than 100 vehicle trips per day, which meets the threshold requiring completion of a Traffic Impact Study. The City's Traffic Impact Guide can be found at City of Lewiston Traffic Impact Resources (<http://cityoflewiston.org/388/Resources>). The Traffic Impact Study should evaluate the proposed connection to 17th Street.

The Lewiston Fire Department; "Access and water supply to comply with International Fire Code requirements. On site access roads, fire truck turnarounds and on-site fire hydrants may be required. Cannot determine required fire flow, access and fire protection requirements until size and type of construction of buildings is/are determined. Fire has no objection to a proposed Planned Unit Development amendment."

Analysis:

The Fairview Terrace Planned Unit Development was originally developed in 1978 by Baldwin Skelton Land Company to create a Planned Unit Development to allow for commercial, multi-family, two-family, and single-family land uses. The applicant became the owner in the early 2000's. Several requests for amendments to the Fairview Terrace Planned Unit Development have been made over the years. In 2002 an amendment request was made to change the southwest corner of 23rd Avenue from high density residential designation to commercial designation. This amendment also requested an amendment to the Comprehensive Plan Land Use Map (1999 Comprehensive Plan). This action was approved but limited the use to professional offices only. Houston Plaza was then built in this section of the PUD.

An amendment request was made in 2003 to change the PUD designation of the 1600 Block of 23rd Avenue on the south side from multifamily and two-family residential designation to professional offices for an addition to the Houston Plaza. This amendment was approved by City Council and the addition to Houston Plaza was built. A second amendment request was made in 2003 to change the PUD designation on the 1600 Block of 25th Ave on the north side, from single family residential designation to two-family duplex residential designation. This amendment request was denied by City Council.

In 2005 a Comprehensive Plan Map Amendment and Zone Change request was granted to remove 2.03 acres from the Fairview Terrace Planned Unit

Development and rezone to Regional Commercial, C6, Zone for Regence Blue Shield to expand their campus. This amendment was approved by City Council.

In 2006 the Darby Village Subdivision plat was completed and approved by City Council. It created the culdesac on 24th Ave and the dead end street on 25th Avenue and subdivided approximately 6.978 acres into 13 single family dwelling building lots. Block 2 of the Darby Village Subdivision (the subject property) was not included in the subdivided lots.

An amendment request was made in 2007 to allow for 8 duplexes or 16 residential units on Block Two of the Darby Village Subdivision (the subject property) but was denied by City Council

The subject property is currently vacant land with topography sloping downhill to the north-northwest. There is approximately 56 feet of elevation drop from the southern property line to the northern property line. Sewer and water lines were installed from the culdesac at 24th Ave into the subject property in two small public right-of-ways. There is a natural drainage to the west of the culdesac.

The applicant is requesting an amendment to the PUD designation of the Fairview Terrace Planned Unit Development from single family residential to higher density or multifamily residential, similar to Higher Density Residential, R4, Zone. The applicant proposes to build three (3) multifamily residential buildings that are approximately 9152 square feet in footprint and four story's and 49 feet in height. They would contain 48 dwelling units total and a subterranean garage. The site plan provided by the applicant also proposes 26 outside parking stalls. The site plan does not show internal parking lot landscaping or ADA parking stalls, which may reduce the total number of outside parking stalls. The application refers to open space but does not show open space on the site plan. Access to the site would be from 17th Street at the southern end of the subject property.

An updated Comprehensive Plan was adopted in 202. The updated Future Land Use Map designates the subject property and the associated neighborhood to the west (until 14th Street) as Community Residential. Community Residential is described as a mid-to high-intensity residential use designation, ranging from small lot single family, townhomes, and multifamily. The suggested density range for this land use designation is 8-18 dwelling units per acre and over 18 dwelling units per acre can be considered with the following essential considerations: Intensity; provides transition in intensity from adjacent uses/zones. Access; located on a collector or arterial roadway with adequate access for the proposed use. Infrastructure; the existing or planned infrastructure is adequate to meet the needs of the proposed use. Compatibility; provides an appropriate transition in building scale from surrounding uses. The Higher Density Residential, R4, Zone would allow for 70 dwelling units based on the 2.65 acres (115,434 square feet at 5,000 square feet required for the first unit and 1,600 square feet required for each additional unit).

The single family residential neighborhood in Block 1 of the Darby Village subdivision has lot sizes ranging from .22 acres as the smallest to 1.14 acres at the largest. This portion of the Fairview Terrace Planned Unit Development has restrictive covenants in place. These restrictive covenants are not enforced by the City. Testimony may be received on these privately imposed covenants, but the Commission should only consider such testimony if it can be tied to the relevant criteria and standards by which the application is required to be judged.

17th Street is considered an arterial roadway. There is currently not an access point into the subject property on 17th Street. The Engineering Division of the Public Works Department has provided applicable portions of a corridor study done on 17th Street (attached to this staff report) and has commented that a Traffic Impact Study would be required as part of the building permit submittal to evaluate the proposed connection point to 17th Street, as well as traffic volume impacts to the street network, including sight-distance and safety considerations that may need to be mitigated by the applicant.

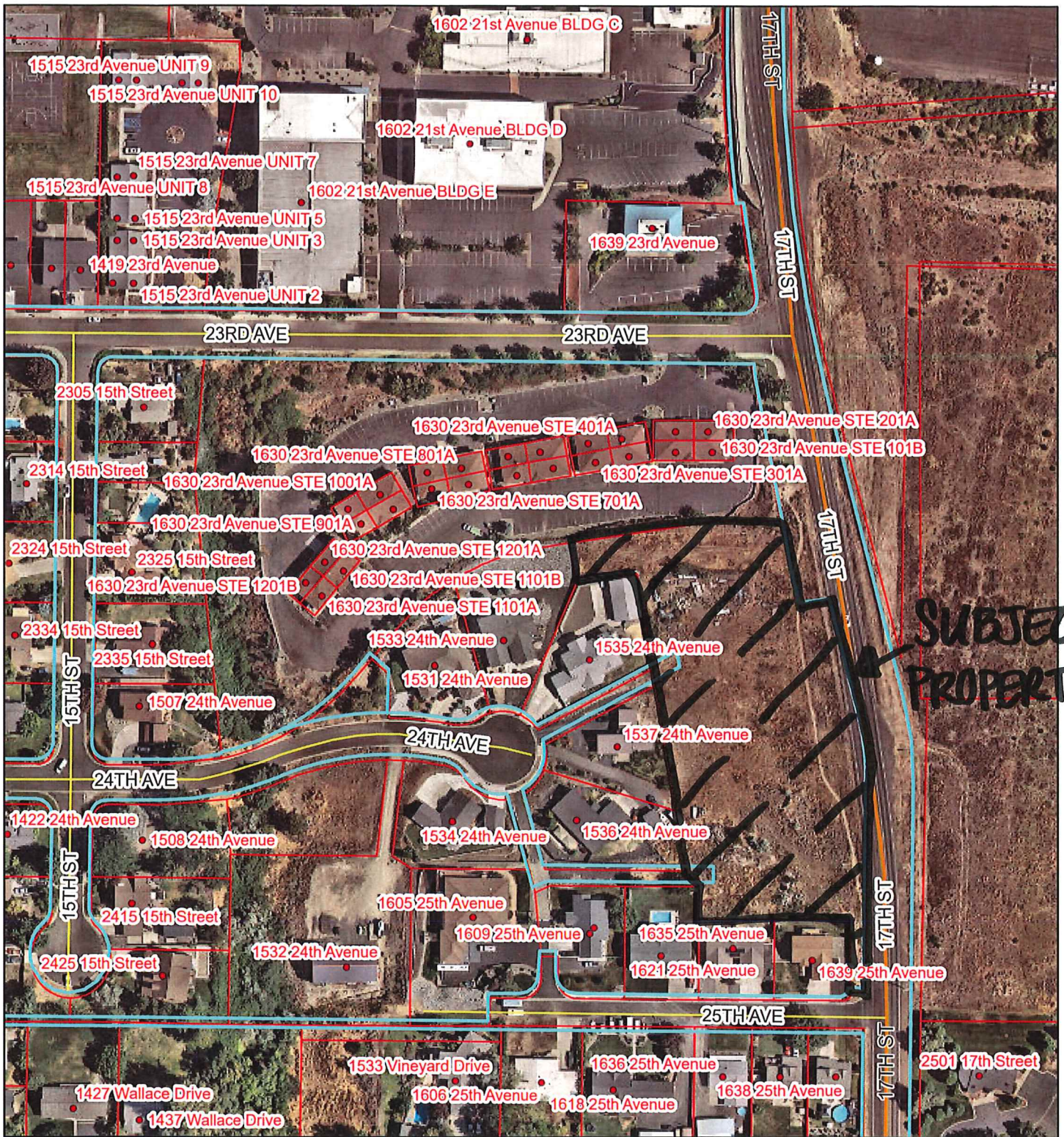
The subject property is located approximately one block south and one block east of McSorley Elementary School and is approximately 2 blocks south of the Lewiston Center Mall, Winco Foods and a Lewiston Transit Bus Stop.

Relevant Criteria and Standards:

See attached reasoned statement worksheet.

Prepared By:

Katie Hollingshead, ACIP
(208) 746-1318, ext. 7261
khollingshead@cityoflewiston.org
P.O.Box 617
Lewiston, ID 83501

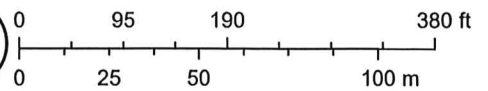


SUBJECT PROPERTY

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|--------------------------|---------------------------|-------------------------------|
| Primary Street Reference | Parks | Paved Business District Alley |
| URBAN PRINCIPAL ARTERIAL | ROW | Alley |
| URBAN MINOR ARTERIAL | Street | Minor Arterial |
| URBAN COLLECTOR | Local | Residential Collector |
| RURAL MAJOR COLLECTOR | Collector | Address |
| <all other values> | Arterial | adSites |
| City Limit | Unpaved Residential Alley | |
| Area City Impact | Paved Residential Alley | |



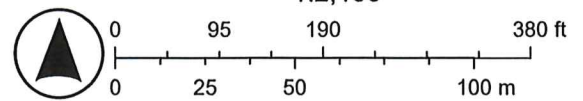
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|--|---|---|
| <p>Primary Street Reference</p> <ul style="list-style-type: none"> URBAN PRINCIPAL ARTERIAL URBAN MINOR ARTERIAL URBAN COLLECTOR RURAL MAJOR COLLECTOR <all other values> City Limit Area City Impact Parks cd_Zoning | <ul style="list-style-type: none"> AIA - AIRPORT OUTER CRITICAL OVERLAY ZONE AIA - AIRPORT INNER CRITICAL AIA - AIRPORT OUTER CRITICAL AIA - AIRPORT LATERAL SAFETY AIA - AIRPORT TRAFFIC PATTERN PD - PLANNED UNIT DEVELOPMENT F2 - AGRICULTURAL TRANSITION R1 - SUBURBAN RESIDENTIAL R2 - LOW DENSITY RESIDENTIAL R2A - LOW DENSITY RESIDENTIAL(LIVESTOCK) R3 - MEDIUM DENSITY RESIDENTIAL R4 - HIGHER DENSITY RESIDENTIAL C1 - LOCAL COMMERCIAL | <ul style="list-style-type: none"> C2 - TOURIST COMMERCIAL C3 - COMMUNITY COMMERCIAL C4 - GENERAL COMMERCIAL C5 - CENTRAL COMMERCIAL C6 - REGIONAL COMMERCIAL M1 - LIGHT INDUSTRIAL M2 - HEAVY INDUSTRIAL A - AIRPORT P - PORT BASPAA - BRYDEN AVE SPECIAL PLANNING AREA BASPAB - BRYDEN AVE SPECIAL PLANNING AREA FIB - FORM & IMPACT BASED MXD-NL - N LEWISTON MIXED USE |
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Microsoft, Vantor

**CITY OF LEWISTON PLANNING AND ZONING COMMISSION
REASONED STATEMENT OF RELEVANT CRITERIA AND
STANDARDS FOR GRANTING OR DENIAL OF
ZONING DISTRICT BOUNDARY CHANGE/REZONE**

This document shall serve as memorialization of the rationale for the granting or denial of a zoning district boundary change/rezone, which shall be based upon relevant criteria and standards, including the Lewiston Comprehensive Plan, Lewiston City Code, and Idaho Code. See I.C. § 67-6535.

I. APPLICATION NUMBER:

II. APPLICANT'S NAME AND ADDRESS:

III. IDENTIFICATION AND/OR LOCATION OF SUBJECT PROPERTY:

IV. DATE OF PUBLIC HEARING:

V. NAME OF HEARING BODY:
Lewiston Planning and Zoning Commission

VI. NATURE OF APPLICATION:
Rezone subject property from [current zone] to [proposed zone]

VII. DECISION:
The Lewiston Planning and Zoning Commission recommends [APPROVAL/DENIAL] of XXX to the Lewiston City Council.

VIII. RELEVANT CONTESTED FACTS RELIED UPON:

The relevant contested facts relied upon are:

IX. RELEVANT CRITERIA AND STANDARDS:

The following relevant criteria, standards, facts, and considerations are hereby declared as reasons for the decision on this zoning district boundary change/rezone:

1. The proposed rezone (**is/is not**) in general conformance with the Lewiston Comprehensive Plan. Applicable commentary:
2. The subject property (**is/is not**) at least as well suited or is better suited for the proposed zoning district than the existing zoning district. Applicable commentary:
3. The proposed rezone (**does/does not**) present foreseen, immitigable impacts of incompatible uses or development being located in the same vicinity. Applicable commentary:
4. The effects of the proposed rezone (**are/are not**) anticipated to place undue burden upon delivery of services provided by any political subdivision within the planning jurisdiction, including school districts. Applicable commentary:
5. The size, type, intensity, and density of development expected to occur on the subject property as a result of this rezoning (**is/is not**) suitable for the area and (**will/will not**) unduly burden the neighborhood, public infrastructure, or environmental resources. Applicable commentary:
6. The proposed rezone (**is/is not**) in conformance with Idaho Code 67-6537, Use of Surface and Ground Water. Applicable commentary:

Pursuant to Idaho Code § 67-6519(5)(c), if the decision on this application is to deny it and the applicant **could not** take actions to obtain approval, the explanation is:

Pursuant to Idaho Code § 67-6519(5)(c), if the decision on this application is to deny it and the applicant **could** take actions to obtain approval, such actions might include:

NOTICE TO APPLICANT AND AFFECTED PERSONS: The Planning and Zoning Commission’s recommendation to the City Council is not a final decision, and thus, shall not be subject to reconsideration or appeal.

By: _____
Signature of Planning and Zoning Commission Chair or Vice Chair or Acting Chair

REASONED STATEMENT OF RELEVANT CRITERIA AND STANDARDS

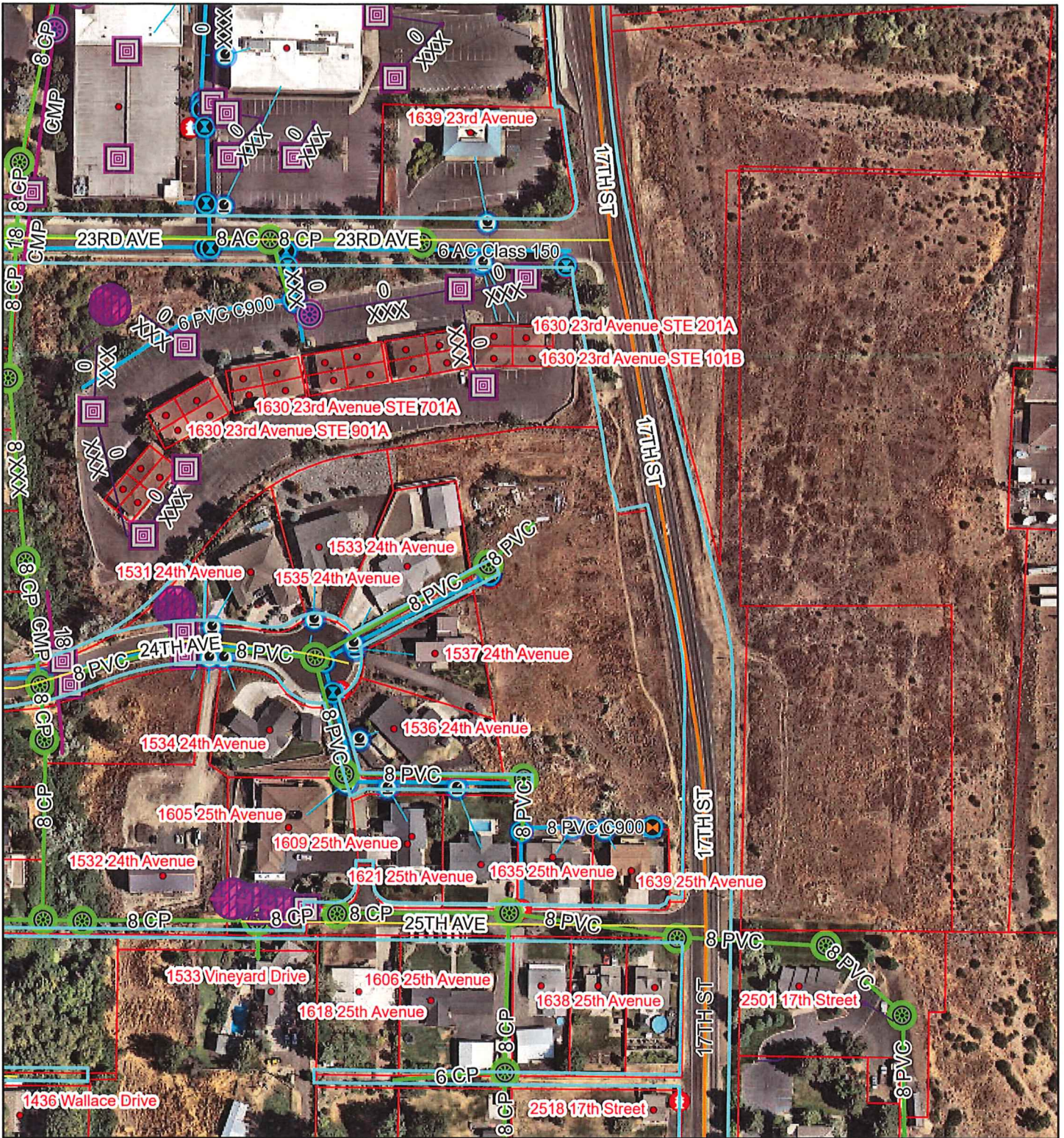
FOR ZNC **xx-xxxxxx**

Page 2 of 3

Printed: _____

Date of Signature: _____

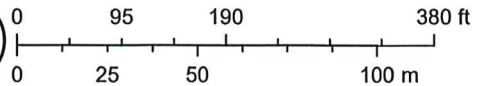
ATTEST: _____
Tanya Brocke, Community Development Specialist



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|--|--|--|---|--|
| <ul style="list-style-type: none"> Primary Street Reference URBAN PRINCIPAL ARTERIAL URBAN MINOR ARTERIAL URBAN COLLECTOR RURAL MAJOR COLLECTOR <all other values> City Limit Area City Impact Parks ROW Street Local Collector Arterial | <ul style="list-style-type: none"> Unpaved Residential Alley Paved Residential Alley Paved Business District Alley Alley Minor Arterial Residential Collector sw Inlet swCatchBasin (PreCon) swCatchBasin swCurbCut (PreCon) | <ul style="list-style-type: none"> swCurbCut swInlet (Unknown) sw Manhole Preconstruction Other sw Line swLineCity (PreCon) swLineCity swLine (PreCon) Other | <ul style="list-style-type: none"> sw Basin Preconstruction Other ww Manhole Preconstruction Other Lampwell ww Lateral Preconstruction Preconstruction Other | <ul style="list-style-type: none"> ww Line Preconstruction Other Wastewater Water w/Valve Open Closed PreConstruction Water w/Meter w/ PRV |
|--|--|--|---|--|



Microsoft, Vantor



To: Alannah Bailey, City of Lewiston, ID

From: Nastassja Abercrombie
Stantec

Project: Area 3a Water Service Evaluation

Date: August 21, 2025

1 Introduction

The City of Lewiston (City), Idaho has requested Stantec evaluate the serviceability of Area 3a, south of the Lewiston Center Mall (Mall). The area south of the Mall is bounded by 17th St to the west, Nez Perce Grade to the east and 25th Ave to the south. Area 3a encompasses approximately 22 acres of proposed commercial development.

The City's existing, calibrated, Bentley's OpenFlows Water Model (Model) was used to evaluate Area 3a in terms of the proposed infrastructure required for service, available fire flow during maximum day demand (MDD) and the minimum pressure, maximum velocity / headloss gradients during peak hour demand (PHD). The purpose of this TM is to document the Area 3a hydraulic analysis results and present the infrastructure required to service Area 3a, should the City choose to incorporate this area into their existing water distribution system.

2 Level of Service Criteria

The level of service criteria used to evaluate the existing water distribution system and Area 3a is provided below:

Pressure:

- Minimum Pressure during PHD: 40 pounds per square-inch (psi)*
- Maximum Pressure during static conditions: 80 psi*

**Per Section 58.01.08.552 of the State of Idaho Administrative Code*

Fire Flow

- Minimum Required FF: 3,000 gallons per minute (gpm)
- Minimum Pressure during MDD + Fire Flow (FF): 20 psi
- Maximum Velocity: 10 FPS

Head Loss Gradient (for PHD only):

- Maximum for 12-inch (in) or Larger Mains 5-feet (ft) /1,000-ft
- Maximum for 8-in or Smaller Mains 8-ft /1,000-ft

Reference: Technical Memorandum

Other Requirements:

- The City water system requirements specify that water mains shall be a minimum of 8 inches in diameter.
- The fire hydrant spacing requirement specifies a maximum of 500 ft between fire hydrants in residential areas, and 300 ft between hydrants for commercial areas.

3 Assumptions

The following assumptions were made for the evaluation of Area 3a:

- No additional model calibration is required
- No additional supply or storage evaluation will be performed
- The target fire flow for the evaluation will match criteria used in 2025, MJ007 Utility Concept Evaluation for Development Infill
- Pipeline extensions for Area 3a will be 12-in or less
- PHD scenarios assume Well 7 is off and the tank level at the South High Reservoir is the LWL of 1,267 ft.
- Fire flow analyses assume Well 7 is off and the tank level at the South High reservoir is 1,277 ft.

4 Area 3a Hydraulic Analysis

The following sections discuss the Area 3a hydraulic analysis including Area 3a demands and site overview, an existing system evaluation, servicing alternatives for Area 3a and model results.

4.1 Area 3a Demands

Demands for Area 3a were developed based on comparable commercial property, specifically the 37-acre commercial development including the Mall north of Area 3a. From the existing model, the unit average day demand (ADD), MDD and PHD for the 37-acre commercial property are as follows:

- Average Day Demand (ADD): 0.79 gpm /acre
- Maximum Day Demand (MDD): 1.89 gpm / acre
- Peak Hour Demand (PHD): 3.02 gpm /acre

Unit demands were projected to the 22-acre, Area 3a development for an ADD, MDD and PHD of 17 gpm, 41 gpm and 66 gpm respectively.

Reference: Technical Memorandum

4.2 Area 3a Site Overview

Area 3a is in the South High pressure zone, and, if serviced via the City of Lewiston, Area 3a would primarily receive its water from the existing Well Site 7 and the South High Reservoir. The pressure zone hydraulic grade line (HGL), based on the high-water level (HWL) of the South High Reservoir and assuming a 10-ft operating range is 1,267 ft to 1,277 ft. The servicing elevations, as estimated from Google Earth, for Area 3a are between 1,069 ft to 1,189 ft increasing in elevation toward the southern end of Area 3a. Based on the low-water level (LWL) of the South High Reservoir, static pressure within Area 3a ranges from 34 psi to 86 psi with the southwestern portion of Area 3a failing to meet the minimum pressure criteria of 40 psi for static conditions. **Figure 4-1** shows Area 3a and the corresponding elevations at 6 key locations.

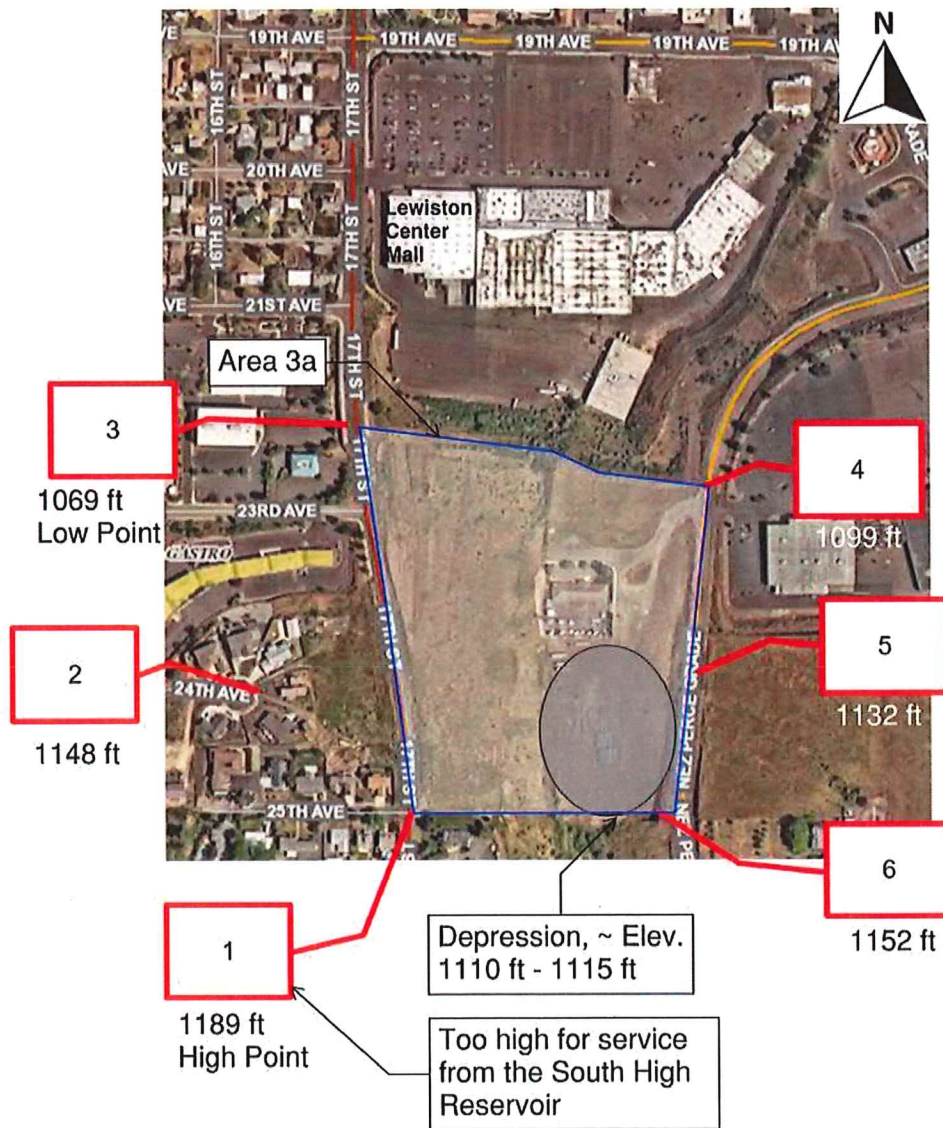


Figure 4-1: Area 3a Location and Elevation Overview

Reference: Technical Memorandum

4.3 Area 3a Servicing Alternatives

To provide service to Area 3a via the City of Lewiston, two serving alternatives were considered:

Alternative 1: Domestic and fire flow service provided by Well Site 7 and the South High Reservoir via 12-in pipelines assuming all services have an elevation below 1,167 ft¹.

Option A: connect with the 16-in pipeline in Nez Perce Grade across from 23rd Ave. and 25th Ave.

Option B: extend the existing 12-in pipeline in 17th St. south to 25th Ave and connect with the existing 16-in pipeline in Nez Perce Grade.

Both Option A and Option B include connections with existing 6-in and 8-in pipelines west of 17th St.

Alternative 2: Domestic service provided by Well Site 7 and the South High Reservoir for northern and southeastern, low-elevation services via 12-in pipeline. Domestic service provided by a new boosted pressure zone for southwestern, high-elevation services. This new boosted pressure zone includes 8-in pipeline, a booster pump station and a pressure sustaining valve (PSV) to relieve excess pressure during low demand periods. The boosted pressure zone could be considered for private ownership in which it would operate similarly to a wholesale customer with a meter vault upstream of the booster pump station. Fire flow to Area 3a provided by Well Site 7 and the South High Reservoir.

¹ 1,167 ft is 100 ft below the LWL of the South High Reservoir (1,267 ft). This is 7 ft higher than the maximum elevation listed in Figure 1-1 in the *Palisades and Southport Study* (2025) of 1,160 ft.

Reference: Technical Memorandum

The following figure, **Figure 4-2** shows a side-by-side comparison of the two options for servicing alternative 1.

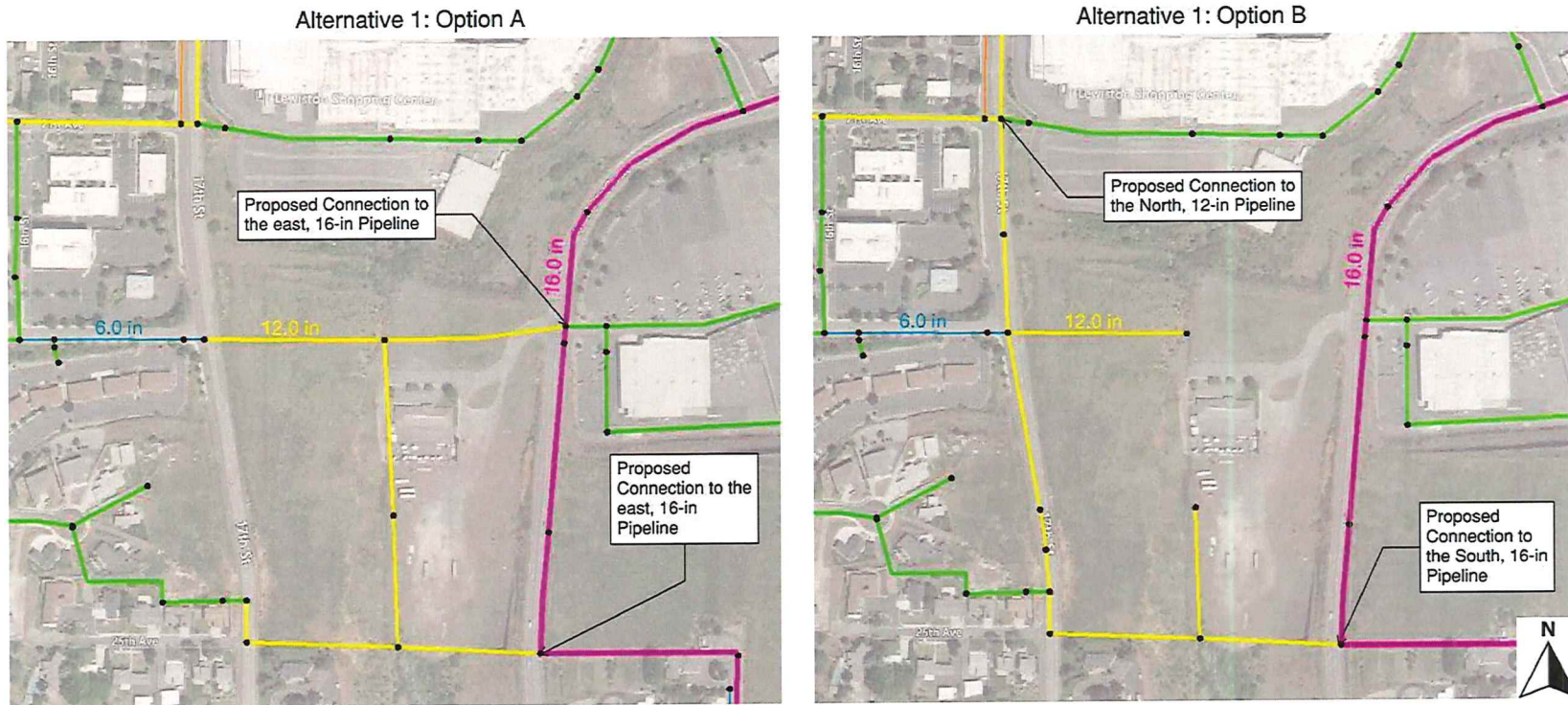


Figure 4-2: Servicing Alternative 1, Option A and B

Reference: Technical Memorandum

The following Figure, **Figure 4-3** shows one potential pipeline configuration for Alternative 2. In this figure, the Alternative 1, Option B pipeline was used as the base and the boosted zone connects with the proposed 12-in pipeline in 17th St. and the proposed 12-in pipeline along the southern boundary of Area 3a. It could alternatively be connected to the 16-in in Nez Perce Grade at the northern side of the boosted pressure zone for the Option A pipeline configuration.

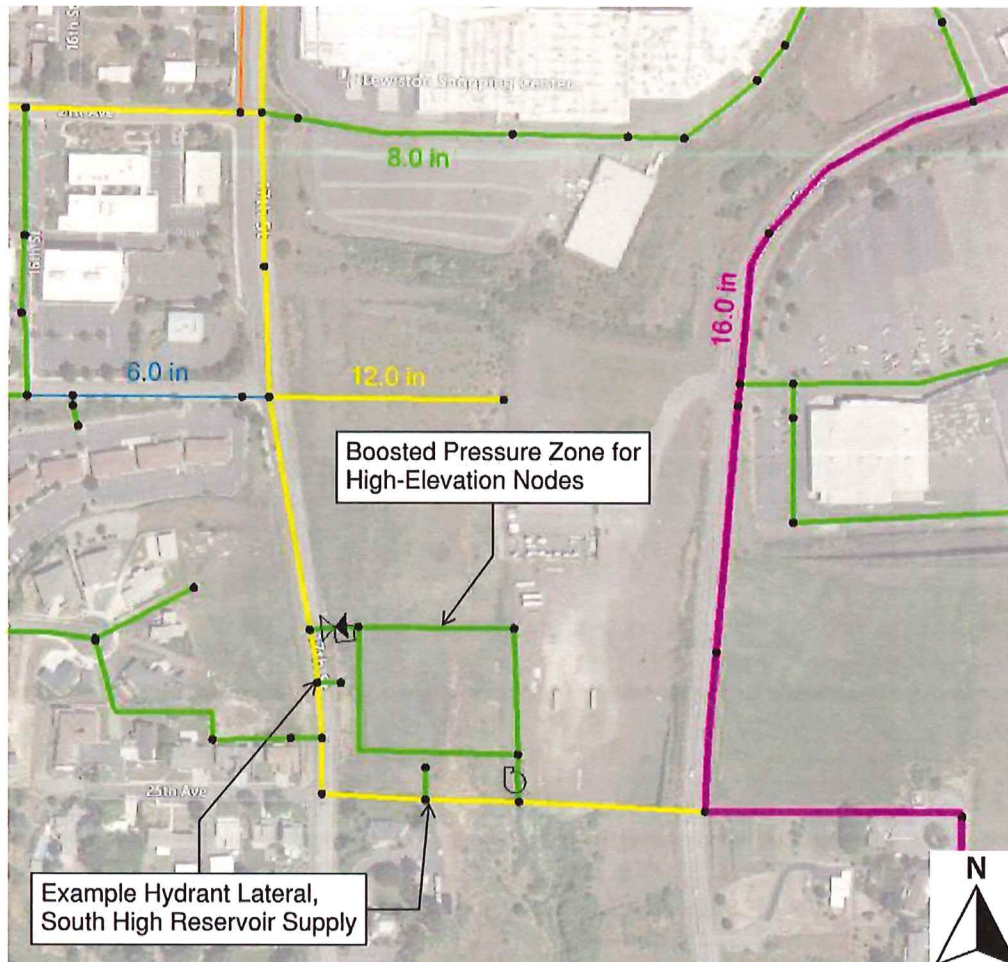


Figure 4-3: Servicing Alternative 2

Alternatively, the Lewiston Orchard Irrigation District (LOID) could be considered for servicing via any number of additional servicing options assuming LOID can provide increased pressure to Area 3a at a higher or equitable flow.

4.4 Hydraulic Analysis

To assess the impact of Area 3a on the existing water distribution system, an existing system evaluation was performed which analyzed the existing minimum pressure in the vicinity of Area 3a during PHD and the available fire flow in the vicinity of Area 3a during MDD.

The following sections outline the results for the existing conditions and the servicing alternatives.

Reference: Technical Memorandum

4.4.1 Existing System Evaluation

The existing system evaluation results are as follows:

Pressure:

- Model results indicate that the existing system minimum pressure during PHD is below the 40-psi criteria at two existing services near the southwest boundary of the proposed service area.
- Model nodes indicated above have a static pressure at or below 40 psi based on the high-water level (HWL) of the South High Reservoir (1,277 ft).
- Existing PHD pressure is greater than the 80-psi criteria at the north end of the proposed service area. Static pressure in this area is 109 psi based on the HWL of the South High Reservoir.
- All pipelines in the vicinity of Area 3a meet the velocity and headloss gradient criteria.

Fire Flow:

- Existing hydrants have an available fire flow less than 1,000 gpm west of the proposed service area and at the Mall, north of the proposed service area.

The following figures, **Figure 4-4** and **Figure 4-5** show the model results for the existing conditions analysis.

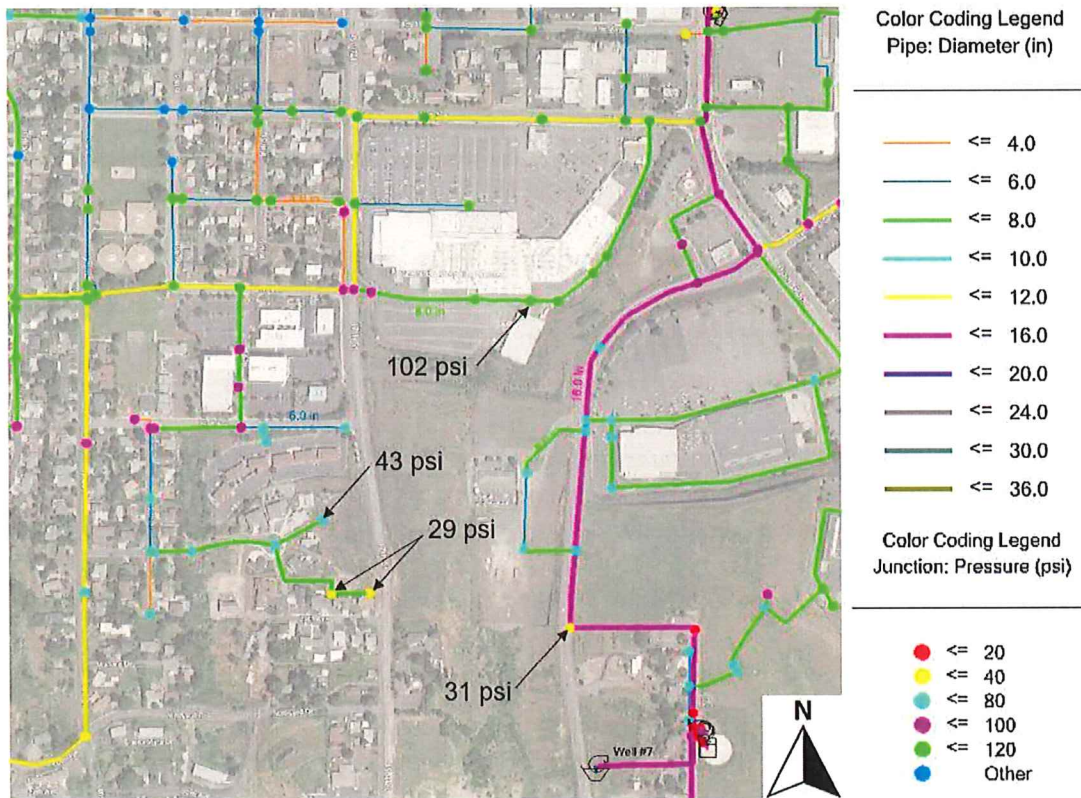


Figure 4-4: Existing System Minimum Pressure (psi) during PHD

Reference: Technical Memorandum

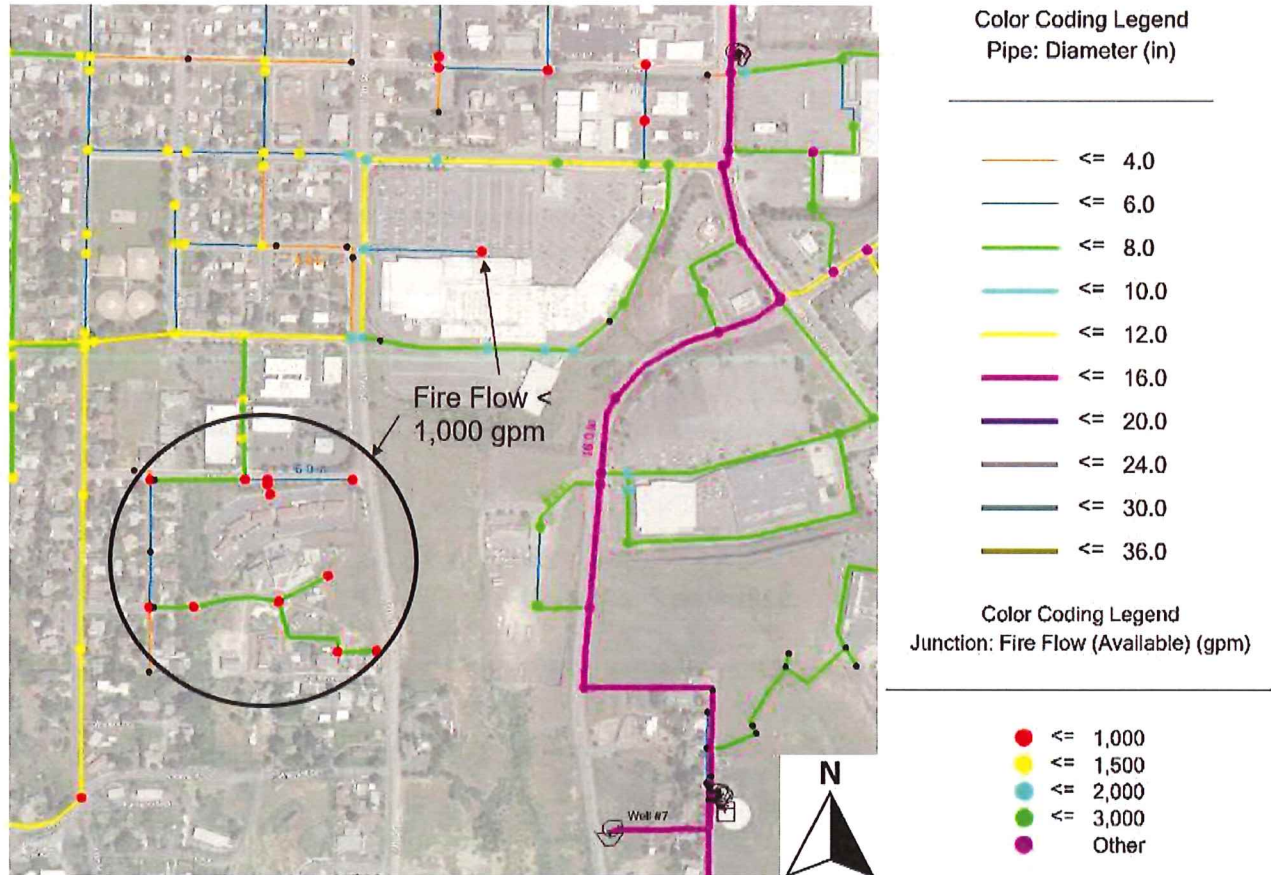


Figure 4-5: Existing System Available Fire Flow (gpm) during MDD

4.4.2 Servicing Alternatives System Evaluation

Alternative 1, Option A and Option B system evaluation results are as follows:

Pressure:

- Pressure is below the 40-psi criteria at high-elevation nodes in the southernmost portion of Area 3a.
- Existing services west of the proposed service area show improved pressure.
- There is a marginal increase in pressure (2 to 3 psi depending on the Option) south of the Lewiston Shopping Center.
- Velocities and headloss gradients in the vicinity of Area 3a remain below the criteria.

Fire Flow:

- The available fire flow to Area 3a is greater than the 3,000-gpm fire flow requirement.
- Fire flow is improved west of 17th St. and north of the Area 3a at existing hydrants.

Reference: Technical Memorandum

Figure 4-6 below shows the PHD pressure for Alternative 1, Option A and B.

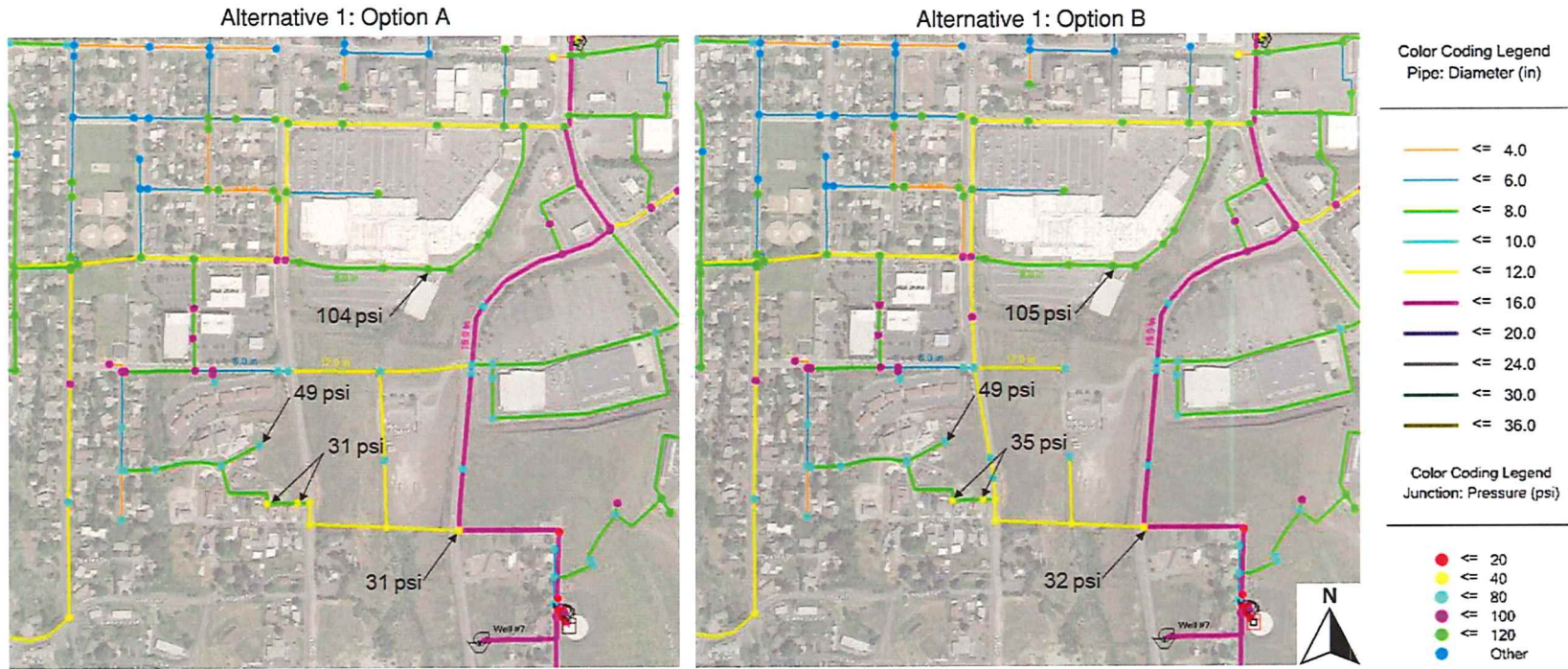


Figure 4-6: Alternative 1, Option A and B Minimum Pressure (psi) during PHD

Reference: Technical Memorandum

Figure 4-7 below shows the available fire flow for Alternative 1, Option A and B including areas with improved fire flow (circled in black) for the Option B pipeline configuration.

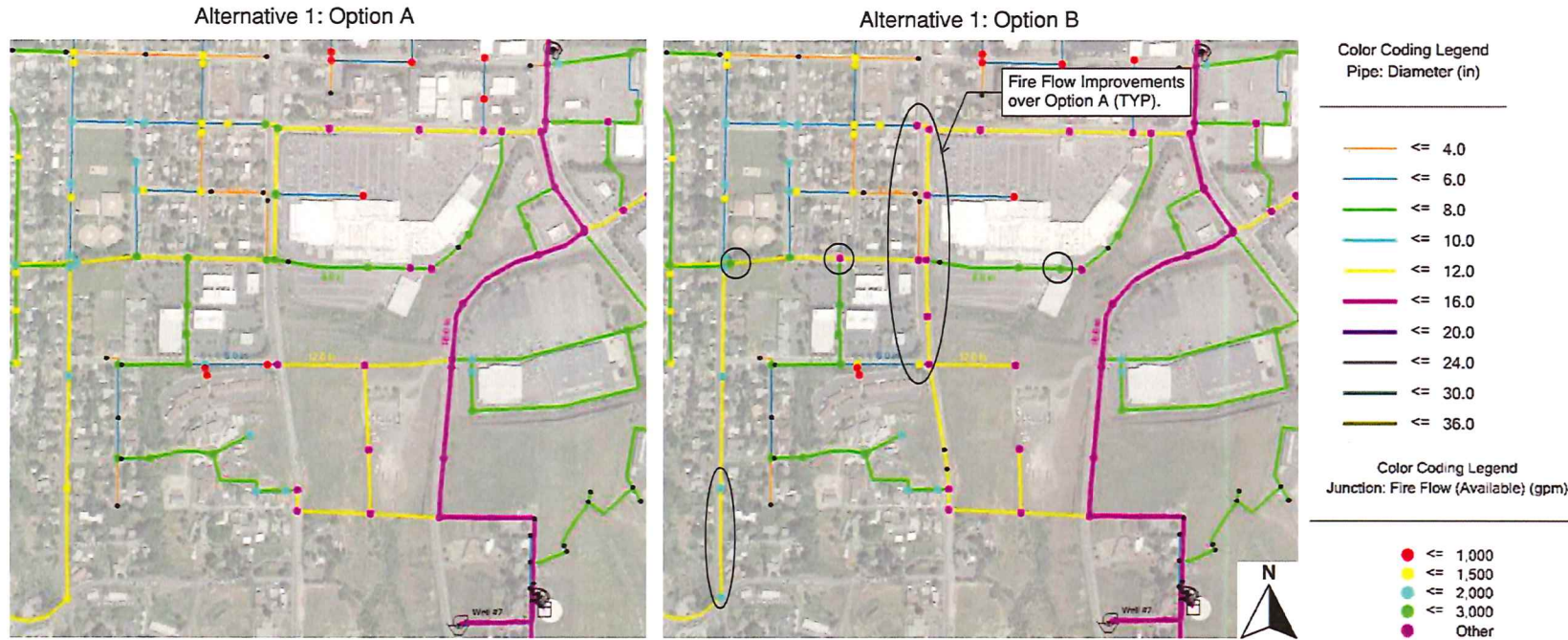


Figure 4-7: Alternative 1, Option A and B Available Fire Flow (gpm) during MDD

Reference: Technical Memorandum

Based on the results of the above evaluations, the minimum pressure criteria can be met in the northern portion of Area 3a with 12-in pipeline connections between existing pipeline in 23rd Ave and Nez Perce Grade as well as between 25th Ave and Nez Perce Grade (Alternative 1, Option A). Additionally, the pressure criteria can be met in the northern portion of Area 3a with 12-in pipeline in 17th St and across the southern boundary of Area 3a (Alternative 1, Option B). Furthermore, fire flow can be provided to the entirety of Area 3a from the South High Reservoir and/or Well Site 7 with proposed pipelines for Option A or Option B. Thus, Alternative 1, Option A and B are sufficient to meet domestic demands in the northern portion of Area 3a and all fire flow to Area 3a.

The total length of 12-in pipeline in 17th St and along the southern boundary of Area 3a required to service Area 3a for Alternative 1, Option B is ~2,225 ft. Option A only requires 800 ft of pipeline across the southern boundary of Area 3a and ~115 ft of pipeline in 17th St, ~1,310 ft less than what is required for Option B. Internal pipeline lengths are unknown and therefore were not estimated and, model nodes north of the southern boundary and west of 17th St inside Area 3a are shown only for reference; the internal pipeline configuration will need to be evaluated should the City choose to move forward with either servicing alternative. The Alternative 1, Option A and B minimum pressures and available fire flow for each key location identified in **Figure 4-1** is shown in **Table 4-1**.

Table 4-1: Area 3a Alternative 1 Pressure and Fire Flow

Key Location	Minimum PHD Pressure (psi)	Available Fire flow (gpm)
	Option A Option B	Option A Option B
1	34 33	3,780 4,206
2	n/a 49	n/a 4,519
3	n/a 83	n/a 4,941
4	68 68	4,941 4,941
5	52 52	4,941 4,941
6	31 31	4,941 4,941

For Alternative 2, by creating a boosted pressure zone for the high elevation nodes in the southern portion of Area 3a, pressure and flow to the boosted zone can be controlled via a new booster pump station and looped internal pipelines to meet the level of service criteria listed in Section 2. For this reason, no additional model analyses were run. Should the City decide to move forward with servicing alternative 2, the pump station can be sized to meet domestic demands in this area and the PSV setting determined.

Reference: Technical Memorandum

5 Conclusion

Domestic flow and fire flow can be provided to Area 3a via approximately 915 ft of 12-in pipeline along the southern boundary of Area 3a and 17th St. (Alternative 1, Option A) or 2,225 ft of 12-in pipeline in 17th St and along the southern boundary of Area 3a (Alternative 1, Option B). Depending on the maximum service elevation within Area 3a, the servicing strategies are as follows:

- (1) service elevations at or below 1,167 ft can be serviced directly by the South High Reservoir zone for both domestic and fire flows.
- (2) service elevations above 1,167 ft could be serviced domestically with a booster pump station as a separate zone, with fire flow being supplied by the South High Reservoir zone.

Proposed looping which ties in existing residential pipelines and transmission mains with the Area 3a development provides increased pressure and fire flow to existing services / hydrants to the west and north of the proposed service area

Addendum

This addendum has been prepared to supplement the Area 3a Water Service Evaluation dated September 8th, 2025. The purpose of this addendum is to provide additional analysis of the presented servicing alternative “Alternative A, Option A” The Area 3a site topology shows a sharp decline in elevation near the proposed connection to the existing 16-in pipeline in Nez Perce Grade. An elevation profile from Google Earth is presented on the following page which demonstrates the elevation drop of ~37 ft from Nez Perce (elevation ~1,165 ft) to the base of the depression at ~1,128 ft.

Proposed pipeline construction and installation along this profile near the southern Nez Perce Grade connection point should consider the existing topology, potential grading and the appropriate burial depth. However, should site limitations prevent the construction and installation of pipeline along this corridor, a revised alternative, Alt A1 – Revised was modeled to assess fire flow capacity assuming the following infrastructure shown in **Figure A1**. Fire flows during maximum day demand at model nodes are included in the figure. As the figure suggests, adequate fire flow cannot be maintained to the high-elevation area (southwestern portion of Area 3a) without the connection at Nez Perce Grade. If an alternate connection point is made as identified in the figure, then fire flow is expected to range from 3,200 to 4,940 gpm.

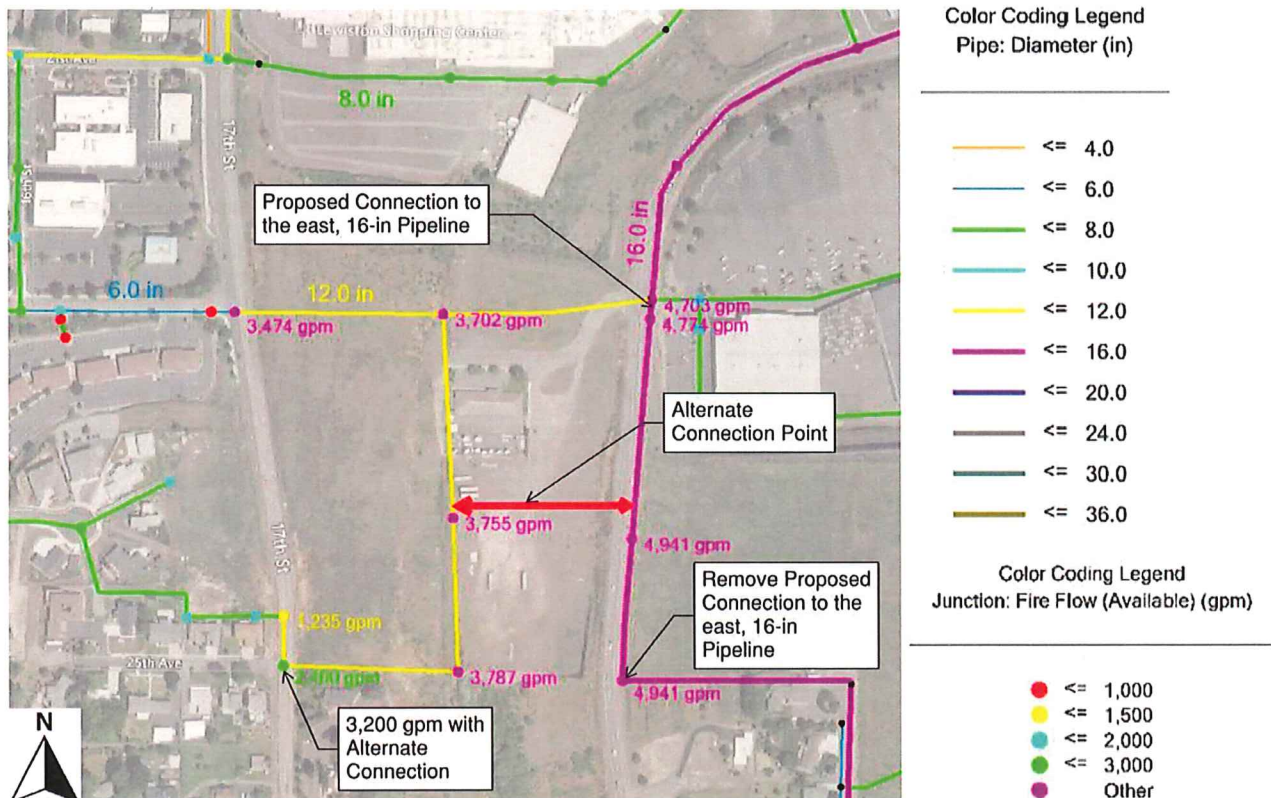


Figure A1: Fire Flow Results Alt 1A – Revised

Reference: Technical Memorandum Area 3a Water Service Evaluation

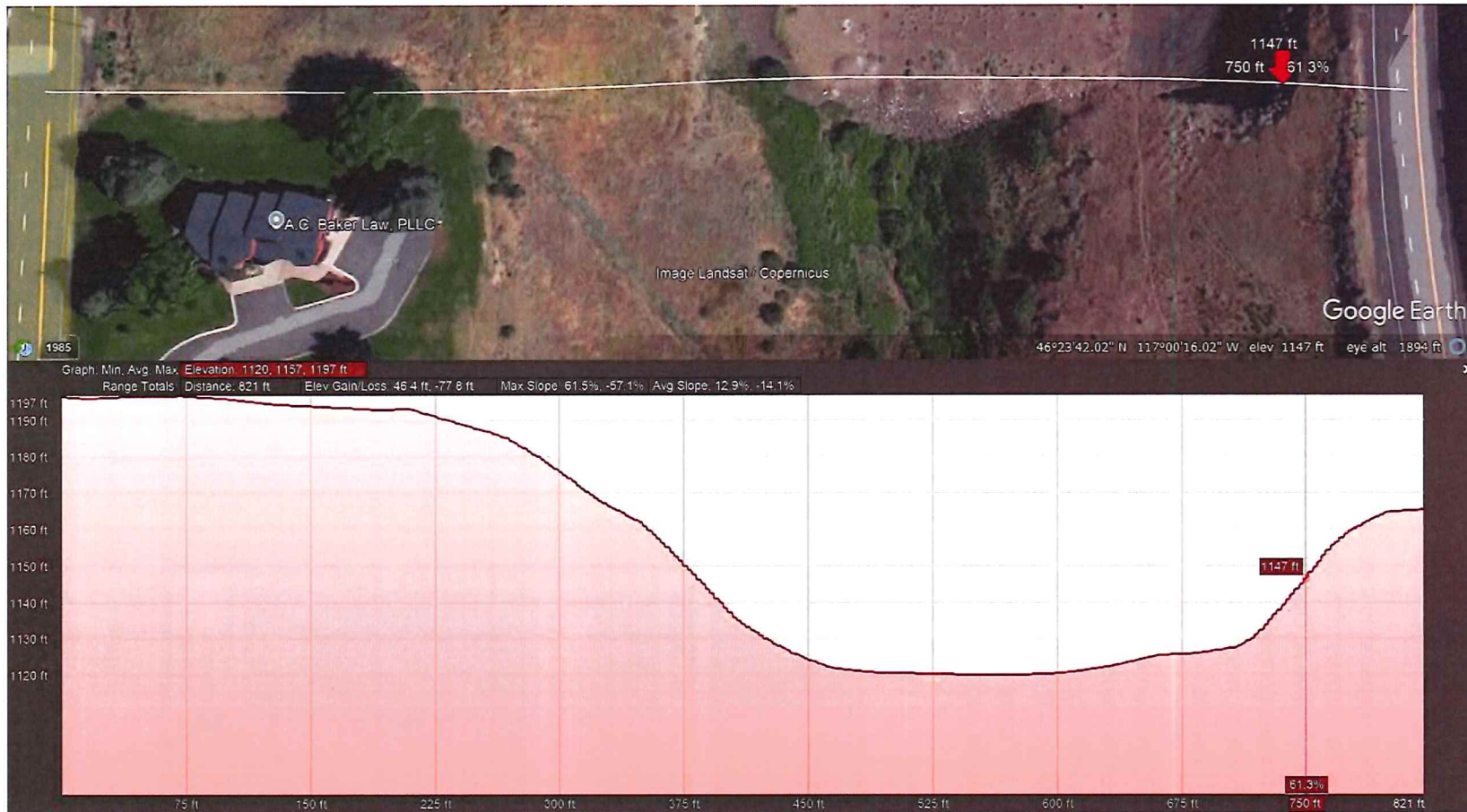


Figure A2: Elevation Profile along Proposed 12-in Pipeline from Existing Connection with 17th St and Nez Perce Grade

MEMORANDUM

17th Street Corridor Study

DATE: October, 2024

TO: City of Lewiston

FROM: J-U-B Engineers Inc.

SUBJECT: 17th Street Grade Corridor Concept

Introduction

The City of Lewiston (City) intends to develop alternatives along the 17th Street (5th Street) corridor to improve pedestrian connectivity by adding sidewalk, curb and gutter, and curb ramps. The project spans approximately 0.9 miles, starting from the intersection of 17th Street (5th Street) and 19th Avenue to the intersection of 17th Street (5th Street) and Preston Avenue. This roadway serves as a minor arterial and features a mix of commercial and residential properties. This memo will assess the current conditions, present three concept alternatives for the corridor (including hybrid options), provide property owner discussions, address stormwater considerations, and provide a final analysis along with the recommended alternative.

Current Conditions and Map

The roadway corridor between 19th Avenue and 21st Avenue has two lanes for both northbound and southbound traffic. Near the intersection of 21st Avenue and 17th Street the northbound lane merges from one lane to two. From 21st Avenue to 25th Avenue, there is a single northbound lane and two southbound lanes. Near the intersection of 25th Avenue and 17th Street the southbound lanes merge from two lanes to one. From 25th Avenue to Preston Avenue, the roadway consists of one lane in each direction, and a middle turn lane. Figures 1 through 6, in Appendix A, show photos of the existing conditions on 17th Street (5th Street).

The ITD ArcGIS Map AADT data (1999-Present) data shows that 17th Street has a varying Average Annual Daily Traffic (AADT) along the corridor, values are in Table 1. Figure 1 is an aerial map of the 17th Street corridor from 19th Avenue to Preston Avenue.



Table 1: 17th Street 2023 AADT

Street(s)	AADT 2023
19 th Avenue to 21 st Avenue	9,200
21 st Avenue to Vineyard Drive	8,500
Vineyard Drive to Preston Avenue	10,500



Figure 1. 17th (5th) Street aerial map.

Alternatives

Alternative 1 – Sidewalk on West Side with Realignment of 17th Street

Alternative 1 entails the addition of sidewalk on the west side of the roadway, opposite of WinCo Foods. All existing sidewalk and curb ramps that meet the City Standards will be retained.

19th Avenue to 23rd Avenue

Heading south from the intersection of 19th Avenue and 17th Street, the existing sidewalk and curb ramps to 21st Avenue comply with City Standards. Southward to 23rd Avenue, new sidewalk will be constructed and tie into the existing sidewalk, to complete the pedestrian network in this section. A new curb ramp will be added at the northwest corner of 23rd Avenue. The curb ramp at the southwest corner of 23rd Avenue and 17th Street will require reconstruction to meet ADA standards.

A retaining wall is required at 17th Street and 23rd Avenue, below where the new sidewalk will be added. The proposed concept design is to tie it into the existing retaining wall, located adjacent to Regence BlueShield of Idaho property, and transition up the slope towards the north corner of 23rd Avenue. Measured from ground level, the existing retaining wall stands at approximately 13.5 feet. The new wall will be located approximately halfway up the existing slope, near the Fairview Dental property. It will start at the highest point of the existing wall, 13.5 feet, and taper



down to approximately 7 feet tall. Due to the position of the new wall, the new sidewalk will jog out to align with the edge of the roadway. No right-of-way is expected for the construction of this retaining wall, however temporary construction easements may be required.

23rd Avenue to 25th Avenue

The current alignment of the roadway between 23rd and 25th Avenue does not follow the designated right-of-way. This alternative proposes to reconstruct that section to better align with the right of way. A concept of this design can be seen in Appendix E. The roadway between 23rd and 25th is a curve and must comply with radius requirements outlined in the American Association of State Highway and Transportation Officials (AASHTO) Geometric Design of Highways and Streets (7th Edition) when reconstructed. With a roadway crown of 2% and a design speed of 35 mph, the minimum required radius is 510 feet. Currently the roadway radius is approximately 1,190 feet. If reconstructed, the roadway radius will be reduced but still comply with AASHTO requirements.

To complete the pedestrian network in this section, new sidewalk will be added and tie into the existing compliant sidewalk. New curb ramps will be added on the northwest and southwest corners of 25th Avenue. A retaining wall or cut slope will be required to provide the needed width to construct the sidewalk adjacent to the roadway.

25th Avenue to Stewart Avenue

New sidewalk and driveway approaches will be constructed in the two blocks prior to the Canyon View Apartments. New curb ramps will be added to the southwest and northwest corners of Vineyard Drive and the northwest corner of the access street between KLEW and the Canyon View Apartments. The existing sidewalk and curb ramps adjacent to Canyon View Apartments meet City Standards.

Stewart Avenue to Preston Avenue

From Stewart Avenue to Preston Avenue new sidewalk, curb ramps, and driveway approaches will be constructed. To meet City Standards of a 30-foot corner radius additional right-of-way will be needed at the northwest corner of Preston Avenue. Note that the curb ramp at the southwest corner of Preston Avenue is not included in the scope of this concept design.

Alternative 2- Sidewalk on East Side, Keep Current Alignment

Alternative 2 involves constructing sidewalk, curb ramps, and driveway approaches along the east side of 17th Street, extending from the WinCo Foods entrance to Preston Avenue. Existing



sidewalk on the east side between 19th Avenue and WinCo Foods entrance, which meets City Standards, will be retained. The current roadway alignment will remain unchanged. A concept of this design can be seen in Appendix E. Right-of-way acquisition will be required from the south corner of the WinCo Foods entrance to approximately halfway between 23rd and 25th Avenue.

Alternative 3 – Sidewalk on West Side, Keep Current Alignment

Alternative 3 follows the same design as Alternative 1 except reconstruction of the roadway between 23rd Avenue and 25th Avenue is not required. The current roadway alignment will be maintained. A concept of this design can be seen in Appendix D. In addition to the required right-of-way acquisition in Alternative 1, there is additional right-of-way acquisition required between 23rd and 25th Avenue. The sidewalk between 23rd and 25th will still require a cut slope or retaining wall to provide adequate width to construct the new sidewalk. This will also create an opportunity to consider a wider buffer between the curb and sidewalk in this section.

Summary

A summary of all Alternatives, including approximate quantities, are shown in Table 2.

Table 2: Alternative Summaries

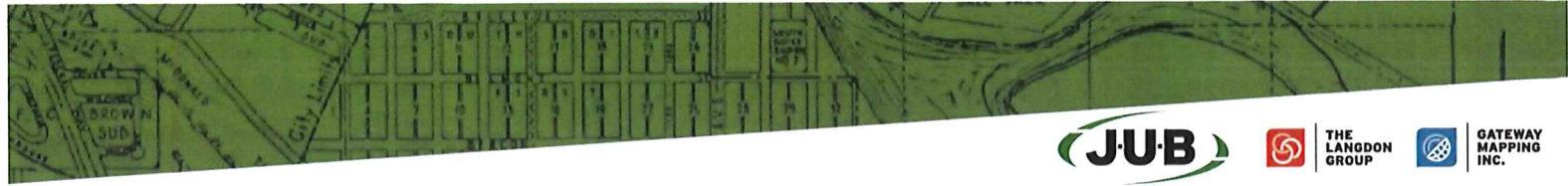
	Alternative 1	Alternative 2	Alternative 3
Right of Way (ft²)	4,500	22,750	14,500
Sidewalk (yd²)	1,300	2,400	1,300
Curb Ramps (Each)	15	16	15
Driveway Approaches (Each)	11	19	11
Reconstruct Roadway Curve	Yes	No	No
Retaining Wall	Yes	No	Yes
Sidewalk Route	West Side	East Side	West Side

Hybrid Options

Alternative 2 Hybrid Option

One possibly option for Alternative 2 is outlined below:

1. Option 2A: This option includes what was previously proposed but would also add sidewalk and curb ramps on the west side of 17th Street from the north corner of KLEW to Preston Avenue to help alleviate congestion. A crosswalk at the northwest corner at KLEW would also be added to connect with sidewalk on the east side of 17th Street. A rectangular rapid flashing beacon would be placed at the crosswalk. The



recommendation of the crosswalk location at KLEW is due to the limited sight distance at Stewart Avenue.

Alternative 2 raises safety concerns due to the high density of existing driveway approaches and parking areas from Stewart Avenue to Preston Avenue on both sides of 17th Street, combined with limited sight distance at intersections, which could increase the risk of pedestrian-related crashes and conflicts. The east side has more driveway conflicts than the west side, which may result in a less desirable option. As seen in Table 1, this section has the highest AADT of 10,500. Further traffic analysis is needed to determine the best option to maintain and ensure safety of all users.

Alternative 3 Options

For Alternative 3 there are two options for the new sidewalk between 23rd Avenue and 25th Avenue which are outlined below:

1. Option 3A: The new sidewalk will follow along the edge of the roadway. Since this area will require a cut slope or retaining wall there could be the possibility of widening so that there is a buffer between the roadway and sidewalk.
2. Option 3B: The new sidewalk will follow the existing footpath along the top of the bank. This option will require a pedestrian fence as the embankment is about 10 feet above the roadway. Due to the slope of the land, there may be more constraints during design to meet ADA requirements.

Buffer Strip

For all alternatives there is an option to include a buffer strip where new sidewalk is constructed; however, this may necessitate additional right-of-way acquisition. Construction of a buffer strip will also depend on the roadway width and existing sidewalk alignment. Further analysis of the roadway and existing infrastructure is necessary to evaluate these factors and determine the feasibility of adding the buffer strip where new sidewalk will be constructed. Appendix D and E show concept designs of where buffer strips can be placed for each alternative.

Northbound Left Turn Lane

A northbound left turn lane at 23rd Avenue can be added for all alternatives but is not required for a sidewalk project. This will require right-of-way acquisition on the east side of 17th Street, approximately 9,800 *ft*². A Northbound left turn lane is shown on all concept designs of the three alternatives.



Retaining Wall Options

At the northwest corner of 23rd Avenue, where Fairview Dental is located, one other option for the retaining wall to support the addition of a sidewalk is:

1. Option R1: For this option, the proposed retaining wall will be positioned closer to the bottom of the existing slope. This location is on Fairview Dental property and will require right-of-way acquisition. The wall will be approximately 13.5 feet tall, with a potential variation of plus or minus two feet. This option allows for a wider shoulder between the sidewalk and the roadway or the potential for a southbound right turn lane onto 23rd Avenue. Additionally, it enables the sidewalk to be straightened out, improving its alignment with the sidewalk and curb ramp on the southwest corner of 23rd Avenue. This option would also require approximately 1,500 *ft*² of additional right-of-way.

Standards

J-U-B Engineers followed the City Standard drawings for the concept design. The typical sidewalk width is 5 feet. The buffer zone will vary from two to four feet, the width is dependent on the right-of-way and maintaining of 12-foot lanes. The single perpendicular curb ramp and single sidewalk ramp type 2 were used in the concept design. The radius at the face of the curb was designed at 30 feet. The City Standard High Back Curb and Gutter was used for the concept design. Existing curb and gutter along the corridor, that meets standards, will be retained. Road realignments followed AASHTO's Geometric Design of Highways and Streets (7th Edition).

Property Owner Discussion

A discussion with two landowners on 17th street was conducted, with both showing support for the project, Appendix B includes the documented conversations. Summaries of the two conversations are below.

The parcel owner at 1639 23rd Avenue is Elly Sings the Blues, LLC, Dr. Galen Haas. Dr. Galen Haas is willing to work with the City on either option of extending the retaining wall and installing sidewalk. Dr. Haas prefers the retaining wall be constructed towards the bottom of the slope, as it would take out the jog in the roadway and improve sight distance for those turning from 23rd Avenue onto 17th Street. He is also willing to sell right-of-way if it is needed for the project. The main concern for him is drainage. Dr. Haas states that currently water runs down 17th Street, rounds the corner at 23rd Avenue, and pools in Fairview Dental's lower parking lot.

The other parcel owner at the 2400 block of 17th Street is Millennium Trust LLC c/o Rick Keane. Mr. Keane plans on developing this land for condominiums but is willing to work with the City as far as dedication of right-of-way. Concept plans of the three alternatives were sent to him upon his request. Mr. Keane prefers Alternative 3 as he feels it makes the most sense. He also prefers having the sidewalk be set behind the curb instead of following the existing foot path.

Stormwater Discussion

A storm water collection system is also suggested to be included in this project to mitigate water runoff concerns. The addition of a stormwater system was also the main request from the owner of Fairview Dental. From the Lewiston Stormwater Master Plan proposed pipe is planned from Vineyard Drive to 23rd Avenue with 12-inch pipe and from 23rd Avenue to 19th Avenue with 18-inch pipe. No stormwater pipe exists north of 19th Avenue until 13th Avenue. The City will need to determine where this pipe will connect or extend to an outlet.

Analysis and Recommendation

Referencing Table 2, from above, Alternatives 1 and 3 were comparable for the quantities of sidewalk, curb ramps, and driveway approaches. The most significant difference is the right-of-way acquisition needed for Alternative 3. Alternative 1 requires reconstructing the roadway between 23rd and 25th Avenue, which will likely make it the least cost-effective alternative. Alternative 2 has the highest quantities for sidewalk, curb ramps, and driveway approaches. The right-of-way acquisition is comparable to Alternative 3. For all three alternatives, additional minor right of way acquisitions may be necessary at intersections. Major transmission lines and poles may be difficult to relocate.

Another consideration is how the new sidewalk will improve and affect the current pedestrian network. Most of the west side of 17th Street is developed, adding sidewalk will enhance connectivity for residences, businesses, and schools in the neighborhood. The east side of 17th Street is undeveloped between 21st Avenue and 25th Avenue, while from 25th to Preston Avenue, there is a mix of businesses and residences. Due to the higher density of residential development on the west side it is probable that more people will benefit from having sidewalk constructed on the west side of the 17th Street Corridor.

From the analysis **Alternative 3** is the recommended alternative. The cost estimate for the entire project is \$2,797,674.00. A separate cost estimate for the left turn bay, which was not included in the total cost, is provided in Appendix C. The project was divided into phases, and cost estimates for each phase are also included in Appendix C.

Appendix A

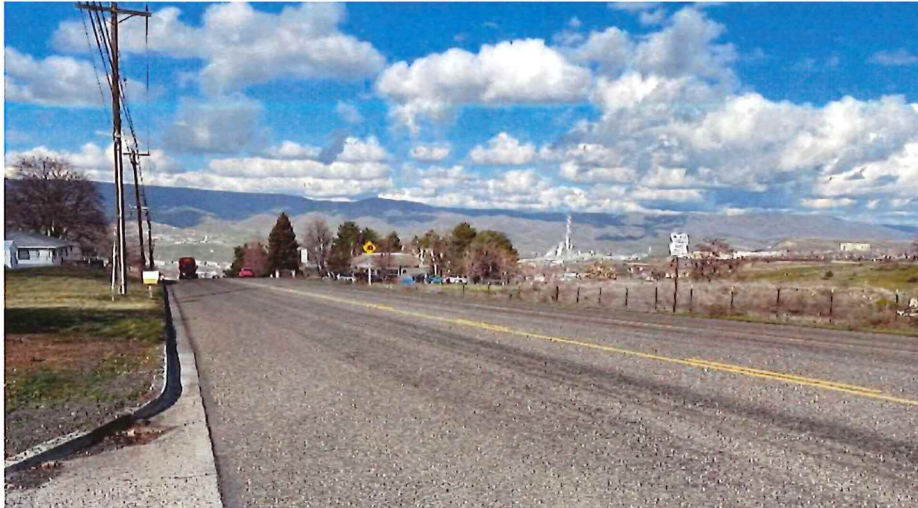


Figure 2 Looking North at the corner of KLEW business.

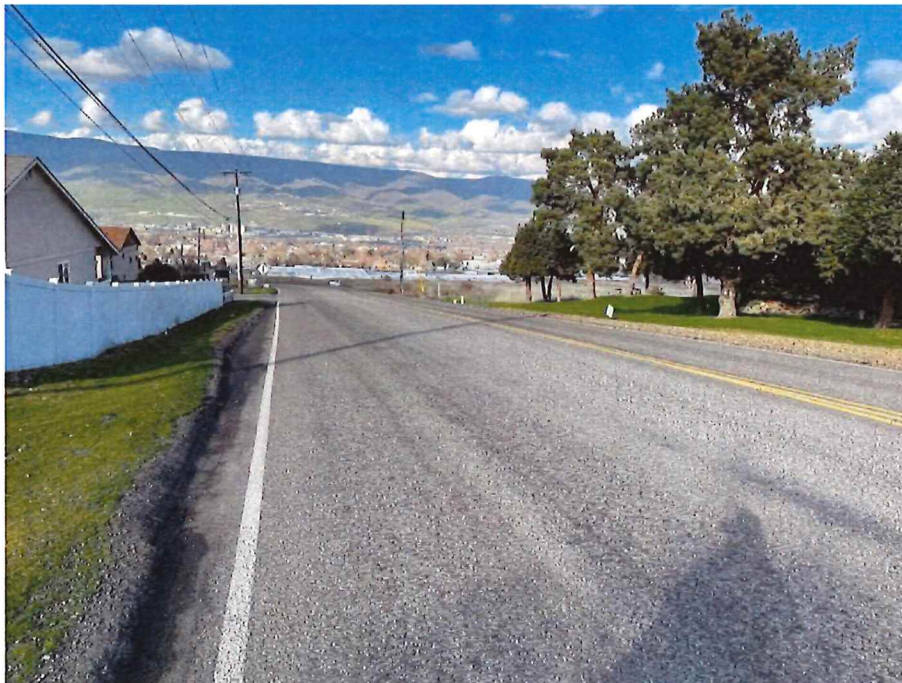


Figure 3 Looking North in between Vineyard Drive and 25th Avenue.



Figure 4 Looking South from 23rd Avenue.



Figure 5 Looking South next to Regence BlueShield just before 23rd Avenue.



Figure 6 Looking South from Vineyard Drive.



Figure 7 Looking South at the intersection 17th Street and Preston Avenue.

Appendix B

17th Street Grade Corridor Concept

0.669 Acre Parcel

Address: 1639 23rd Ave

Parcel Owner: Elly Sings the Blues, LLC, DR. Galen Haas

208-746-0431

5/17/2024

Phone call with Dakota Wilson

Dr. Galen Haas, DSS founder and CEO of Fairview Dental and property registered agent at 1639 23rd Ave. called to discuss the preliminary design of the sidewalk on 17th Street. I informed him the sidewalk/retaining wall will be at no cost to him. Highlights of the conversation:

- Willing to work with the City of Lewiston on extending the retaining wall and installing sidewalk on 17th Street. Would sell Right of Way if required to complete the project.
- His preferred option is Retaining Wall Option 2. He likes that it takes out the jog in the road, will improve sight distance for cars turning off 23rd onto 17th, and gives the option for a future right hand turn lane onto 23rd Ave.
- He has drainage concerns. Currently the water runs down 17th, rounds the corner onto 23rd Ave. and pools in his lower parking lot.



J-U-B FAMILY OF COMPANIES

17th Street Grade Corridor Concept

2.7 acre parcel, 2400 block of 17th Street, west side,

Parcel Owner: Millennium Trust LLC, c/o Rick Keane

Rick Keane

208-305-9435

rick@artesionfusion.com

May 13, 2024

Phone call with Rick Keane and John Watson

JW introduced the project goals and objectives for sidewalk connectivity, creation of alternatives, and understanding of his parcel boundary that is within the developed street. Rick indicated that he is in design development stage for the property with the following information:

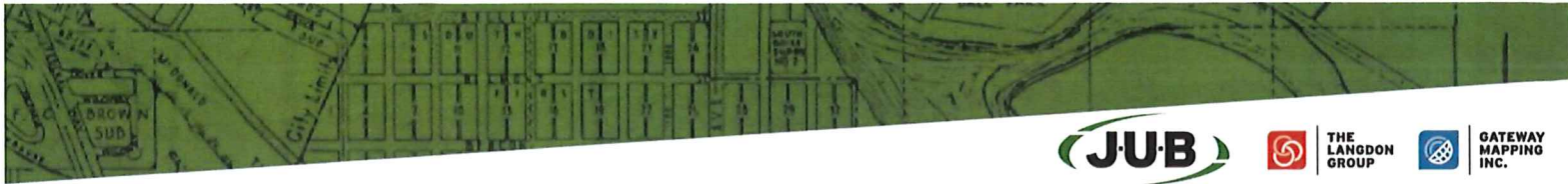
- Planning to develop residential condo's
- He plans to bury the power lines along the frontage of the property. He got a quote from Avista last year (\$86,000)
- Providing egress to the property is a primary concern.

Rick asked to receive by email the concept alternatives for review, and then agreed to meet to discuss. I emailed him the plans on 5/13/2024

May 14, 2024

Phone call from Rick to JW

Rick indicated he had reviewed the alternatives.



- His preference is Alternative 3, which follows the existing alignment of the road. He agreed it made the most sense to keep the sidewalk continuous on the west side of the street.
- He prefers to have the sidewalk behind the curb, rather than following the existing worn footpath.
- He indicated he would work with the City on the dedication of right of way, with some caveats:
 - Big issue to Rick is to allow a northbound left turn out of the property.
 - Rick indicated he would like to have Community Development, Building Dept, Fire Dept. on board with this, he doesn't want a fight.
 - He thought that with some excavation of the slope, sight distance would be resolved, as it sounded like that had been a concern of the City in previous conversations about the property's egress.
 - With some coordination with City, he thought that a graded slope instead of retaining wall would be ok with his development, but they are working on grading plans and does not know the specifics yet.
- His schedule for development may happen ahead of the funding for sidewalk. I discussed the potential schedule for the TAP funding, application cycles, and time to develop a federal aid project, and that construction could be 3-4 years out.

HELPING EACH OTHER
CREATE BETTER COMMUNITIES



THE
LANGDON
GROUP



GATEWAY
MAPPING
INC.

J-U-B FAMILY OF COMPANIES

Appendix C – Cost Estimate

Project	17th Street Corridor Concept	Date: August 2024	
Client	Lewiston, ID		
Incidental Summary			


Item Description	Incidental/Assumptions
STANDARD 6-INCH VERTICAL CURB AND GUTTER	Gravel,excavation
CONCRETE SIDEWALKS, THICKNESS 4"	Gravel,excavation
PEDESTRIAN RAMP W/DETECTABLE WARNING DOMES	Gravel,excavation
CRUSHED AGGREGATE FOR BASE TYPE 1	12" of gravel under plant mix pavement - 140 lb/cf
PLANT MIX PAVEMENT - PATCHING	6' pavement transition from curb and gutter to existing pavement lane. 4" thickness - 155 lb/cf
RETAINING WALL	Backfill, excavation
STORM WATER IMPROVEMENTS (PIPE, BASIN,MANHOLE)	These improvements are from the 2001 Lewiston Storm Water Master Plan. From Figure 5.11A in the Master Plan pipe size 12" is to be placed from Vineyard Ave to 23rd Avenue and 18" pipe from 23rd Ave to 19th Ave (Approximate locations). Manholes to be placed every 300 ft. Catch basins to be placed 2 per block. For steeper areas a double catch basin will be needed.

ENGINEER'S OPINION OF PROBABLE COST

PROJECT: 17TH STREET GRADE CORRIDOR CONCEPT PHASE 1	DATE:
CLIENT: CITY OF LEWISTON	AUGUST 20, 2024

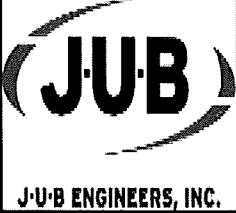
PROJECT DESCRIPTION: PHASE 1 - CONSTRUCTION OF SIDEWALK ON THE WESTSIDE OF 17TH STREET, 19TH AVENUE TO 25TH AVENUE. (NOT INCLUDING LEFT TURN BAY)

BID ITEM NO.	DESCRIPTION	SCHEDULE OF VALUES			
		QNTY	UNIT	UNIT PRICE	TOTAL COST
PHASE 1					
1.01	CLEARING & GRUBBING	1.0	LS	\$ 5,000.00	\$ 5,000.00
1.02	REMOVAL OF ASPHALT	520.0	SY	\$ 20.00	\$ 10,400.00
1.03	REMOVAL OF GUARDRAIL	100.0	FT	\$ 10.00	\$ 1,000.00
1.04	EXCAVATION	4,670.0	CY	\$ 35.00	\$ 163,450.00
1.05	STANDARD 6-INCH VERTICAL CURB AND GUTTER	900.0	LF	\$ 100.00	\$ 90,000.00
1.06	CONCRETE SIDEWALKS, THICKNESS 4"	500.0	SY	\$ 110.00	\$ 55,000.00
1.07	PEDESTRIAN RAMP W/DETECTABLE WARNING DOMES	2.0	EA	\$ 6,000.00	\$ 12,000.00
1.08	CRUSHED AGGREGATE FOR BASE TYPE 1	880.0	TON	\$ 50.00	\$ 44,000.00
1.09	PLANT MIX PAVEMENT - PATCHING	130.0	TON	\$ 250.00	\$ 32,500.00
1.10	RETAINING WALL	1,350.0	SF	\$ 100.00	\$ 135,000.00
1.11	CONSTRUCTION TRAFFIC CONTROL	1.0	LS	\$ 20,000.00	\$ 20,000.00
1.12	MOBILIZATION	1.0	LS	\$ 124,800.00	\$ 124,800.00
1.13	18" STORM SEWER PIPE	1,400.0	FT	\$ 70.00	\$ 98,000.00
1.14	12" STORM SEWER PIPE	800.0	FT	\$ 60.00	\$ 48,000.00
1.15	CATCH BASIN	5.0	EA	\$ 3,000.00	\$ 15,000.00
1.16	MANHOLE	5.0	EA	\$ 5,000.00	\$ 25,000.00
1.17	PLANT MIX PAVEMENT-STORM TRENCH PATCH BACK	200.0	TON	\$ 250.00	\$ 50,000.00
1.18	SURVEY	1.0	LS	\$ 10,000.00	\$ 10,000.00
1.19	RETROFIT CURB RAMP	1.0	EA	\$ 5,500.00	\$ 5,500.00
1.20	CONCRETE BARRICADE	120.0	FT	\$ 100.00	\$ 12,000.00
1.21	TRAFFIC CONTROL	1.0	LS	\$ 25,000.00	\$ 25,000.00

	CONSTRUCTION TOTAL	\$ 981,650.00
	CONTINGENCY (30%)	\$ 295,000.00
	RIGHT OF WAY ACQUISITION (\$4/SF)	\$ 62,424.00
	PE (15%)	\$ 148,000.00
	CEI (10%)	\$ 99,000.00
	PROJECT TOTAL	\$ 1,586,074.00

A: 846 SIXTH STREET, CLARKSTON, WA 99403 P: (509) 254-6011 F: (844) 830-2645

ENGINEER'S OPINION OF PROBABLE COST

PROJECT: 17TH STREET GRADE CORRIDOR CONCEPT PHASE 1 ADD ALT					DATE:	
CLIENT: CITY OF LEWISTON					AUGUST 20, 2024	
PROJECT DESCRIPTION: PHASE 1 ADD ALT - CONSTRUCTION OF NORTHBOUND LEFT TURNBAY ONTO 25TH AVE						
BID ITEM NO.	DESCRIPTION	SCHEDULE OF VALUES				
		QNTY	UNIT	UNIT PRICE	TOTAL COST	
PHASE 1						
1.01	CLEARING & GRUBBING	1.0	LS	\$ 5,000.00	\$	5,000.00
1.02	REMOVAL OF ASPHALT	110.0	SY	\$ 20.00	\$	2,200.00
1.03	EXCAVATION	400.0	CY	\$ 35.00	\$	14,000.00
1.04	CRUSHED AGGREGATE FOR BASE TYPE 1	560.0	TON	\$ 50.00	\$	28,000.00
1.05	PLANT MIX PAVEMENT	210.0	TON	\$ 250.00	\$	52,500.00
1.06	PAVEMENT LINE PAINT	1610	SF	\$ 10.00	\$	16,100.00
1.07	THERMOPLASTIC PAVEMENT MARKINGS	300	SF	\$ 20.00	\$	6,000.00
1.08	MOBILIZATION	1	LS	\$ 20,100.00	\$	20,100.00
1.09	TRAFFIC CONTROL	1	LS	\$ 10,000.00	\$	10,000.00
CONSTRUCTION TOTAL					\$	153,900.00
CONTINGENCY (30%)					\$	47,000.00
RIGHT OF WAY ACQUISITION (\$4/SF)					\$	39,200.00
PE (15%)					\$	24,000.00
CEI (10%)					\$	16,000.00
PROJECT TOTAL					\$	280,100.00
		A: 846 SIXTH STREET, CLARKSTON, WA 99403			P: (509) 254-6011	
					F: (844) 830-2645	
ENGINEER'S OPINION OF PROBABLE COST						


J-U-B ENGINEERS, Inc.
846 6th St.
Clarkston, WA 99403

(509) 254-6011
Page 111 of 179

ENGINEER'S OPINION OF PROBABLE COST

PROJECT: 17TH STREET GRADE CORRIDOR CONCEPT PHASE 2	DATE:
CLIENT: CITY OF LEWISTON	AUGUST 20, 2024
PROJECT DESCRIPTION: PHASE 2 - CONSTRUCTION OF SIDEWALK ON THE WESTSIDE OF 17TH STREET, 25TH AVENUE TO STEWART AVENUE	

BID ITEM NO.	DESCRIPTION	SCHEDULE OF VALUES			
		QNTY	UNIT	UNIT PRICE	TOTAL COST
PHASE 2					
2.01	CLEARING & GRUBBING	1.0	LS	\$ 5,000.00	\$ 5,000.00
2.02	REMOVAL OF ASPHALT	340.0	SY	\$ 20.00	\$ 6,800.00
2.03	STANDARD 6-INCH VERTICAL CURB AND GUTTER	500.0	LF	\$ 100.00	\$ 50,000.00
2.04	CONCRETE SIDEWALKS, THICKNESS 4"	350.0	SY	\$ 110.00	\$ 38,500.00
2.05	CONCRETE DRIVEWAY APPROACH	30.0	SY	\$ 150.00	\$ 4,500.00
2.06	PEDESTRIAN RAMP W/DETECTABLE WARNING DOMES	4.0	EA	\$ 6,000.00	\$ 24,000.00
2.07	CRUSHED AGGREGATE FOR BASE TYPE 1	210.0	TON	\$ 50.00	\$ 10,500.00
2.08	PLANT MIX PAVEMENT - PATCHING	80.0	TON	\$ 250.00	\$ 20,000.00
2.09	CONSTRUCTION TRAFFIC CONTROL	1.0	LS	\$ 20,000.00	\$ 20,000.00
2.10	MOBILIZATION	1.0	LS	\$ 43,200.00	\$ 43,200.00
2.11	12" PIPE	400.0	FT	\$ 60.00	\$ 24,000.00
2.12	CATCH BASIN	7.0	EA	\$ 3,000.00	\$ 21,000.00
2.13	MANHOLE	5.0	EA	\$ 5,000.00	\$ 25,000.00
2.14	SURVEY	1.0	LS	\$ 10,000.00	\$ 10,000.00
2.15	BUFFER STRIP-ROCK SURFACING	140.0	SY	\$ 25.00	\$ 3,500.00
2.16	TRAFFIC CONTROL	1.0	LS	\$ 25,000.00	\$ 25,000.00

 J-U-B ENGINEERS, INC.	CONSTRUCTION TOTAL	\$ 331,000.00
	CONTINGENCY (30%)	\$ 100,000.00
	PE (15%)	\$ 50,000.00
	CEI (10%)	\$ 34,000.00
	PROJECT TOTAL	\$ 515,000.00

A: 846 SIXTH STREET, CLARKSTON, WA 99403	P: (509) 254-6011	F: (844) 830-2645
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ENGINEER'S OPINION OF PROBABLE COST

ENGINEER'S OPINION OF PROBABLE COST

PROJECT: 17TH STREET GRADE CORRIDOR CONCEPT PHASE 3


DATE:

CLIENT: CITY OF LEWISTON

AUGUST 20, 2024

PROJECT DESCRIPTION: PHASE 3 - CONSTRUCTION OF SIDEWALK ON THE WESTSIDE OF 17TH STREET, STEWART AVENUE TO VISTA AVENUE

BID ITEM NO.	DESCRIPTION	SCHEDULE OF VALUES			
		QNTY	UNIT	UNIT PRICE	TOTAL COST
PHASE 3					
3.01	CLEARING & GRUBBING	1.0	LS	\$ 5,000.00	\$ 5,000.00
3.02	REMOVAL OF ASPHALT	400.0	SY	\$ 20.00	\$ 8,000.00
3.03	STANDARD 6-INCH VERTICAL CURB AND GUTTER	590.0	LF	\$ 100.00	\$ 59,000.00
3.04	CONCRETE SIDEWALKS, THICKNESS 4"	260.0	SY	\$ 110.00	\$ 28,600.00
3.05	CONCRETE DRIVEWAY APPROACH	110.0	SY	\$ 150.00	\$ 16,500.00
3.06	PEDESTRIAN RAMP W/DETECTABLE WARNING DOMES	2.0	EA	\$ 6,000.00	\$ 12,000.00
3.07	CRUSHED AGGREGATE FOR BASE TYPE 1	250.0	TON	\$ 50.00	\$ 12,500.00
3.08	PLANT MIX PAVEMENT- PATCHING	100.0	TON	\$ 50.00	\$ 5,000.00
3.09	CONSTRUCTION TRAFFIC CONTROL	1.0	LS	\$ 20,000.00	\$ 20,000.00
3.10	MOBILIZATION	1.0	LS	\$ 31,000.00	\$ 31,000.00
3.11	SURVEY	1.0	LS	\$ 10,000.00	\$ 10,000.00
3.12	BUFFER STRIP-ROCK SURFACING	200.0	SY	\$ 25.00	\$ 5,000.00
3.13	TRAFFIC CONTROL	1.0	LS	\$ 25,000.00	\$ 25,000.00

 J·U·B ENGINEERS, INC.	CONSTRUCTION TOTAL	\$ 237,600.00
	CONTINGENCY (30%)	\$ 72,000.00
	PE (15%)	\$ 36,000.00
	CEI (10%)	\$ 24,000.00
	PROJECT TOTAL	\$ 369,600.00

A: 846 SIXTH STREET, CLARKSTON, WA 99403

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F: (844) 830-2645

ENGINEER'S OPINION OF PROBABLE COST

J-U-B ENGINEERS, Inc.

846 6th St.

Clarkston, WA 99403


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Page 113 of 179

ENGINEER'S OPINION OF PROBABLE COST

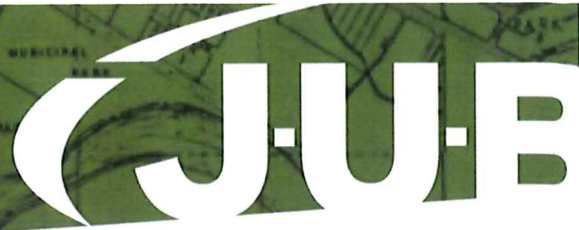
PROJECT: 17TH STREET GRADE CORRIDOR CONCEPT PHASE 4	DATE:
CLIENT: CITY OF LEWISTON	AUGUST 20, 2024
PROJECT DESCRIPTION: PHASE 4 - CONSTRUCTION OF SIDEWALK ON THE WESTSIDE OF 17TH STREET, VISTA AVENUE TO PRESTON AVENUE	

BID ITEM NO.	DESCRIPTION	SCHEDULE OF VALUES			
		QNTY	UNIT	UNIT PRICE	TOTAL COST
PHASE 4					
4.01	CLEARING & GRUBBING	1.0	LS	\$ 5,000.00	\$ 5,000.00
4.02	REMOVAL OF ASPHALT	190.0	SY	\$ 20.00	\$ 3,800.00
4.03	STANDARD 6-INCH VERTICAL CURB AND GUTTER	280.0	LF	\$ 100.00	\$ 28,000.00
4.04	CONCRETE SIDEWALKS, THICKNESS 4"	240.0	SY	\$ 110.00	\$ 26,400.00
4.05	CONCRETE DRIVEWAY APPROACH	50.0	SY	\$ 150.00	\$ 7,500.00
4.06	PEDESTRIAN RAMP W/DETECTABLE WARNING DOMES	6.0	EA	\$ 6,000.00	\$ 36,000.00
4.07	CRUSHED AGGREGATE FOR BASE TYPE 1	120.0	TON	\$ 50.00	\$ 6,000.00
4.08	PLANT MIX PAVEMENT- PATCHING	50.0	TON	\$ 250.00	\$ 12,500.00
4.09	CONSTRUCTION TRAFFIC CONTROL	1.0	LS	\$ 20,000.00	\$ 20,000.00
4.10	MOBILIZATION	1.0	LS	\$ 27,400.00	\$ 27,400.00
4.11	SURVEY	1.0	LS	\$ 10,000.00	\$ 10,000.00
4.12	BUFFER STRIP-ROCK SURFACING	80.0	SY	\$ 25.00	\$ 2,000.00
4.13	TRAFFIC CONTROL	1.0	LS	\$ 25,000.00	\$ 25,000.00

 J-U-B ENGINEERS, INC.	CONSTRUCTION TOTAL	\$ 209,600.00
	CONTINGENCY (15%)	\$ 63,000.00
	RIGHT OF WAY ACQUISITION (\$4/SF)	\$ 1,400.00
	PE (15%)	\$ 32,000.00
	CEI (10%)	\$ 21,000.00
	PROJECT TOTAL	\$ 327,000.00

A: 846 SIXTH STREET, CLARKSTON, WA 99403	P: (509) 254-6011	F: (844) 830-2645
ENGINEER'S OPINION OF PROBABLE COST		

HELPING EACH OTHER
CREATE BETTER COMMUNITIES



THE
LANGDON
GROUP



GATEWAY
MAPPING
INC.

J-U-B FAMILY OF COMPANIES

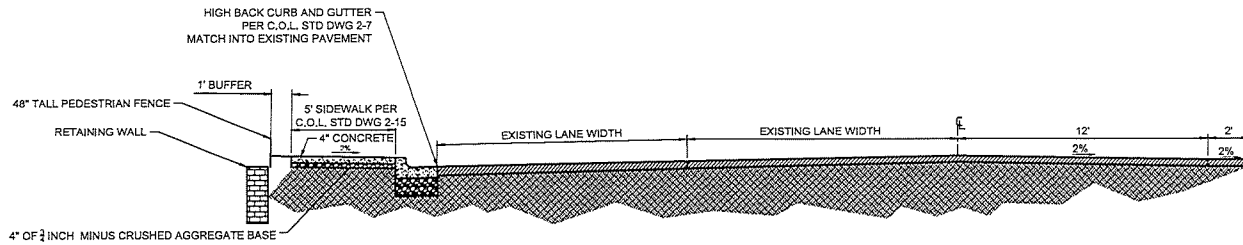
Appendix D – Alternative 3

NO.	REVISION	BY	DATE

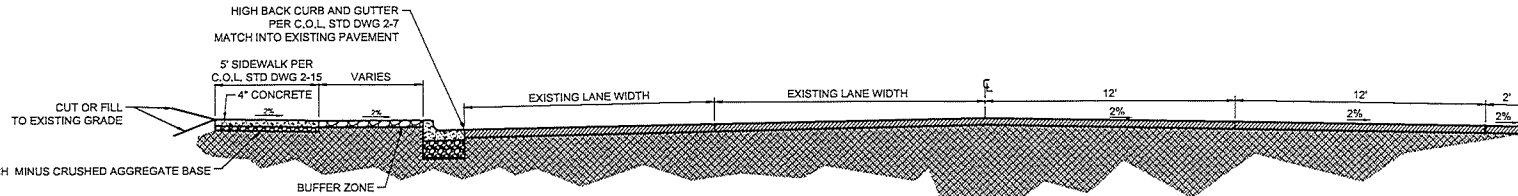
17TH STREET GRADE CORRIDOR CONCEPT
CITY OF LEWISTON
TYPICAL SECTIONS

FILE	07-24-017 C-500
DATE PLOTTED	07-24-017
DRAWN BY	SC
DESIGN BY	SC
CHECKED BY	DM
SCALE	AS SHOWN

DRAWING:
C-501
SHEET: 4 OF 5

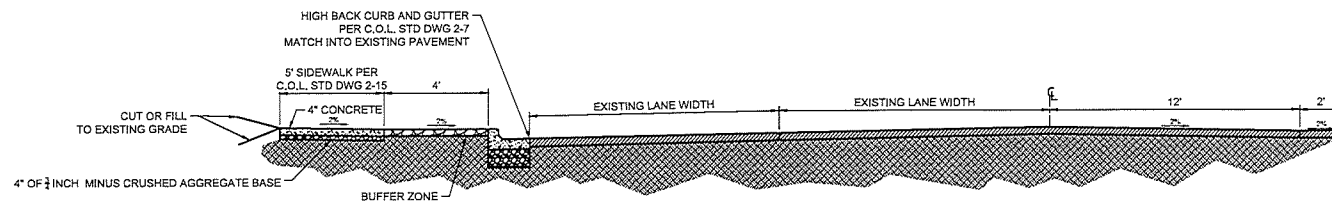


A TYPICAL PAVEMENT SECTION- 23RD AVENUE RETAINING WALL
SCALE: NTS



NOTE:
1. SECTION WILL HAVE A 75 FT TAPER
2. BUFFER ZONE WILL VARY WITH A MAX WIDTH OF 4 FT

B TYPICAL PAVEMENT SECTION- WIDENING ON EASTSIDE
SCALE: NTS



C TYPICAL PAVEMENT SECTION- WIDENING ON EASTSIDE
SCALE: NTS

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 PLOT BY: JUB-SC
 PLOT DATE: 8/1/07 10:41 AM
 PLOT SCALE: AS SHOWN
 PLOT SHEET: 4 OF 5



J-U-B ENGINEERS, INC.



THE LANGDON GROUP

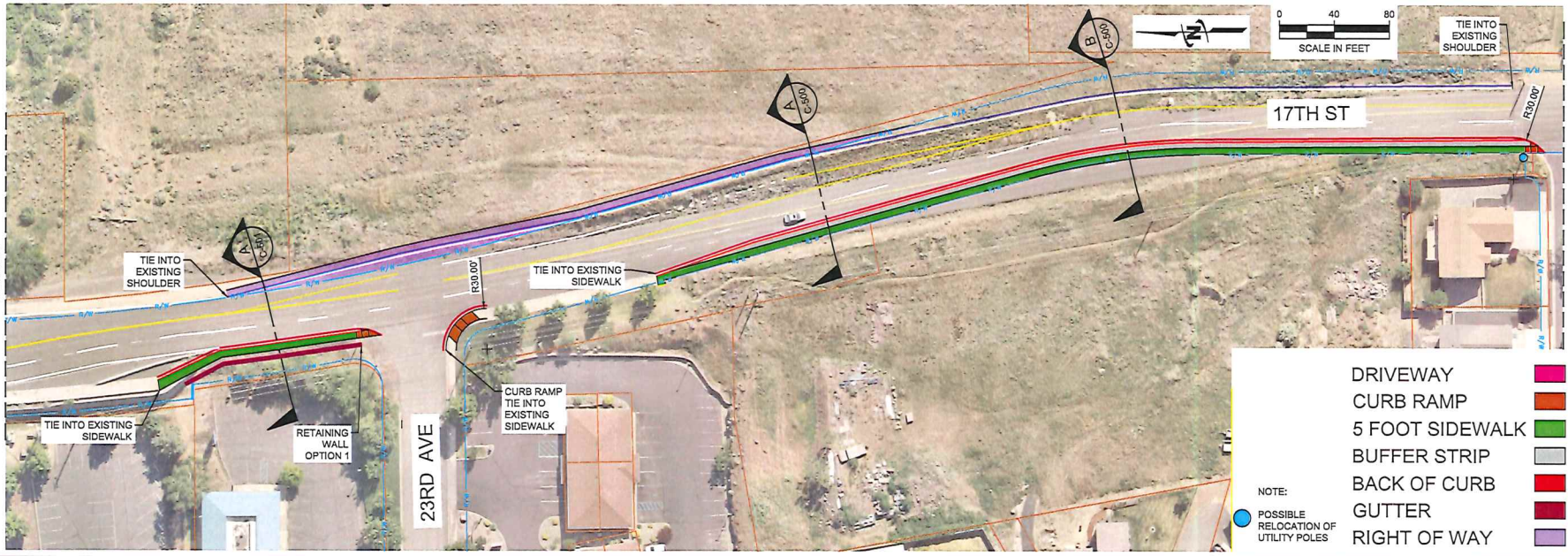
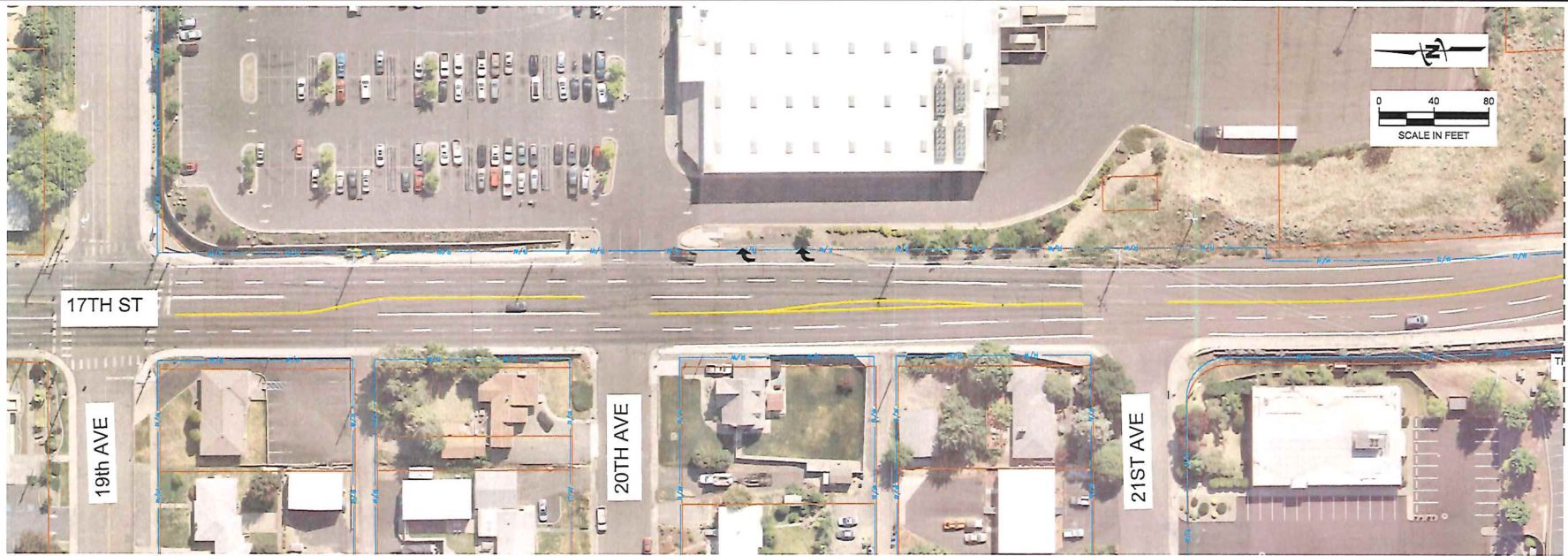


GATEWAY MAPPING INC.

J-U-B FAMILY OF COMPANIES

Appendix E- Alternative 1 & 2

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 Plot: C:\msdcs\central\external\dwg\17th Street Grade Corridor Concept.dwg
 Plot Date: 4/11/2024 11:00 AM



NOTE:

- POSSIBLE RELOCATION OF UTILITY POLES

DRIVEWAY	
CURB RAMP	
5 FOOT SIDEWALK	
BUFFER STRIP	
BACK OF CURB	
GUTTER	
RIGHT OF WAY	

JUB
J-U-B ENGINEERS, INC.

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Phone: 509.254.8011
www.jub.com

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

17TH STREET GRADE CORRIDOR CONCEPT
CITY OF LEWISTON

SHIFT ROAD, SIDEWALK WEST SIDE
19TH AVE TO 25TH AVE
ALTERNATIVE 1

REVISIONS

NO.	DESCRIPTION	BY	DATE

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DESIGN BY: DC
CHECKED BY: GAW

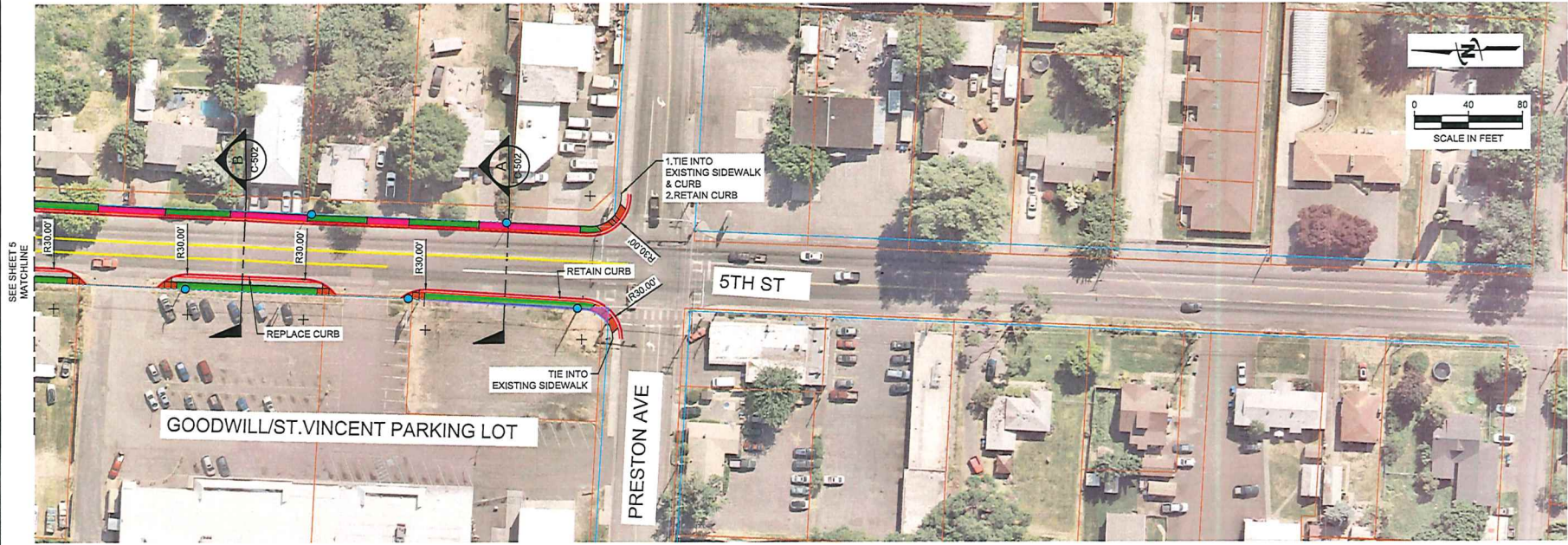
AT FULL SCALE, IF NOT ONE
NOTE SCALE AS APPLICABLY

LAST MODIFIED: 04/11/2024

DRAWING:
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SHEET: 1 OF 15

FILE: 0224-017 - ALTERNATIVE 2
 SUB PROJECT: 0224-017
 DRAWING: 0224-017-017
 DESIGN BY: SC
 CHECKED BY: DJM
 DATE: 02/24/2017
 AT FULL SIZE, IF NOT ONE
 INCH SCALE ACCORDINGLY
 LAST MODIFIED: 02/24/2017
 DRAWING: 6
 SHEET: 6 OF 15



- NOTE:
 POSSIBLE RELOCATION OF UTILITY POLES
- DRIVEWAY
 - CURB RAMP
 - 5 FOOT SIDEWALK
 - BUFFER STRIP
 - BACK OF CURB
 - GUTTER
 - RIGHT OF WAY



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PRELIMINARY PLANS
 NOT FOR CONSTRUCTION

NO.	DESCRIPTION	BY	DATE

17TH STREET GRADE CORRIDOR CONCEPT
 CITY OF LEWISTON
 SIDEWALK EAST SIDE- CROSS AT KLEW
 GOODWILL PARKING LOT TO PRESTON AVE
 ALTERNATIVE 2

FILE: 0224-017 - ALTERNATIVE 2
SUB PROJECT: 0224-017
DRAWING: 0224-017-017
DESIGN BY: SC
CHECKED BY: DJM
DATE: 02/24/2017
AT FULL SIZE, IF NOT ONE INCH SCALE ACCORDINGLY
LAST MODIFIED: 02/24/2017
DRAWING: 6
SHEET: 6 OF 15



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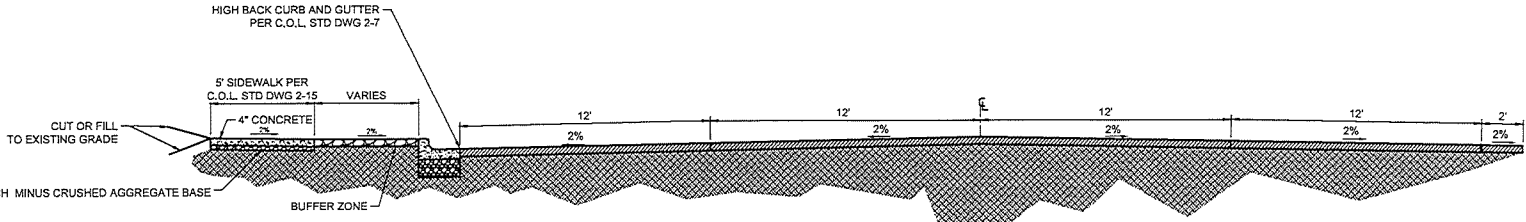
PRELIMINARY PLANS
NOT FOR CONSTRUCTION

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17TH STREET GRADE CORRIDOR CONCEPT
CITY OF LEWISTON
TYPICAL SECTIONS

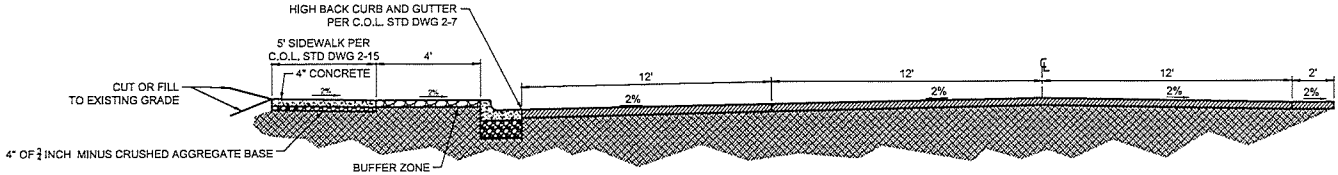
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JUB PROJECT # 07-24017
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DESIGN BY: SC
CHECKED BY: ELM

DRAWING: C-500
SHEET: 10 OF 15



NOTE:
1. SECTION WILL HAVE A 75 FT TAPER
2. BUFFER ZONE WILL VARY WITH A MAX WIDTH OF 4 FT

A TYPICAL PAVEMENT SECTION- RECONSTRUCTION WITH LEFT TURN LANE
SCALE: NTS



B TYPICAL PAVEMENT SECTION- RECONSTRUCTION
SCALE: NTS

FILE: 0124217-C-500
JUB PROJECT # 07-24017
DRAWN BY: SC
DESIGN BY: SC
CHECKED BY: ELM



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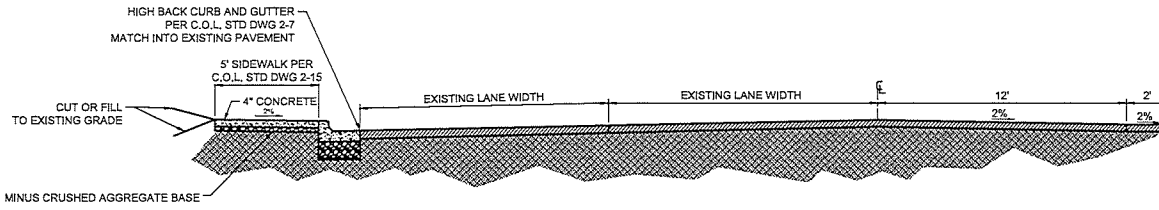
PRELIMINARY
PLANS
NOT FOR
CONSTRUCTION

NO.	REVISION	DATE	BY	DESCRIPTION

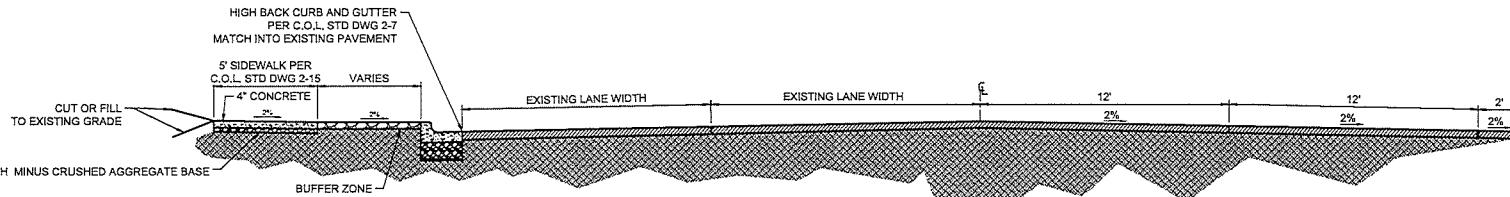
17TH STREET GRADE CORRIDOR CONCEPT
CITY OF LEWISTON
TYPICAL SECTIONS

FILE: 07-24-017 C-501
JUB PROJECT # 07-24-017
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DESIGNED BY: SC
CHECKED BY: GJW
DATE: 07/24/07
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DRAWING:
C-501
SHEET: 11 OF 15

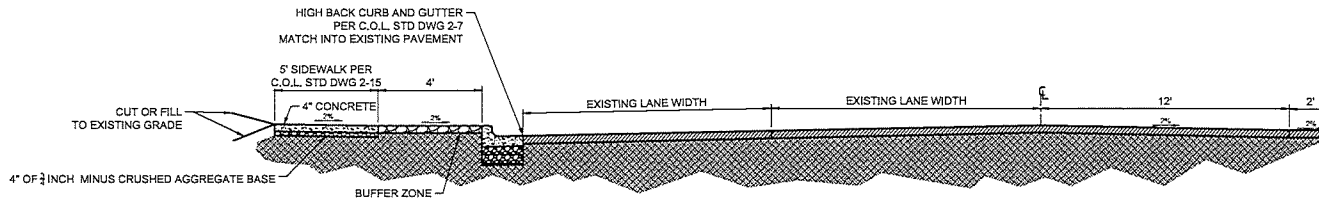


A TYPICAL PAVEMENT SECTION- WIDENING ON EAST SIDE
SCALE: NTS



NOTE:
1. SECTION WILL HAVE A 75 FT TAPER
2. BUFFER ZONE WILL VARY WITH A MAX WIDTH OF 4 FT

B TYPICAL PAVEMENT SECTION- WIDENING ON EASTSIDE
SCALE: NTS



C TYPICAL PAVEMENT SECTION- WIDENING ON EASTSIDE
SCALE: NTS

PROJECT: 07-24-017 17TH STREET GRADE CORRIDOR CONCEPT CITY OF LEWISTON
DRAWN BY: SC
DESIGNED BY: SC
CHECKED BY: GJW
DATE: 07/24/07



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REUSE OF DRAWINGS

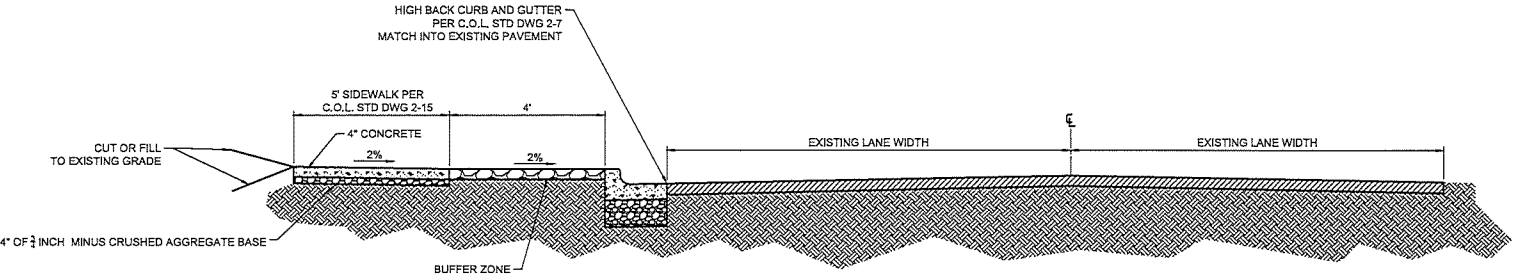
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NO.	DESCRIPTION	BY	DATE

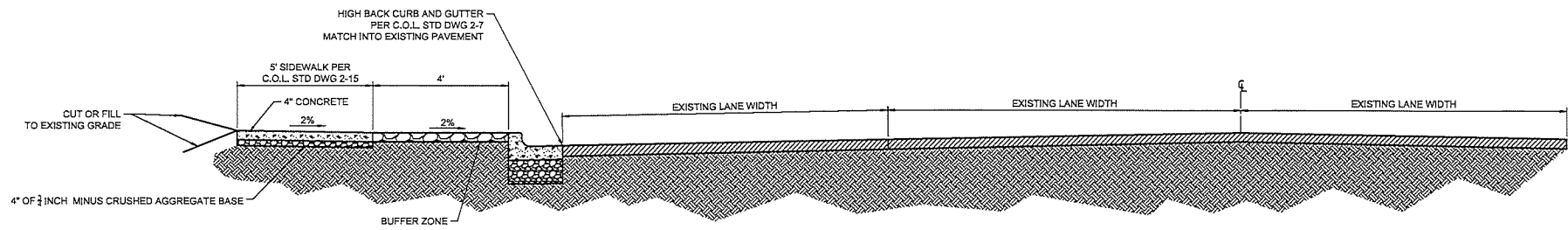
17TH STREET GRADE CORRIDOR CONCEPT
 CITY OF LEWISTON

TYPICAL SECTIONS

FILE: 07-24-017_C-503
JUB PROJ # 07-24-017
DRAWN BY: SC
DESIGN BY: SC
CHECKED BY: GJM
DATE: 07/24/07
AT FULL SIZE, IF NOT ONE, SHOW SCALE APPROPRIATELY
LAST MODIFIED: 07/24/07
DRAWING: C-503
SHEET: 13 OF 15



A TYPICAL PAVEMENT SECTION- ONE LANE BOTH DIRECTIONS WITH BUFFER
 SCALE: NTS



B TYPICAL PAVEMENT SECTION- TWO LANES BOTH DIRECTIONS WITH BUFFER
 SCALE: NTS

FILE: 07-24-017_C-503
 JUB PROJ # 07-24-017
 DRAWN BY: SC
 DESIGN BY: SC
 CHECKED BY: GJM
 DATE: 07/24/07
 AT FULL SIZE, IF NOT ONE, SHOW SCALE APPROPRIATELY
 LAST MODIFIED: 07/24/07
 DRAWING: C-503
 SHEET: 13 OF 15



JUB-B ENGINEERS, INC.

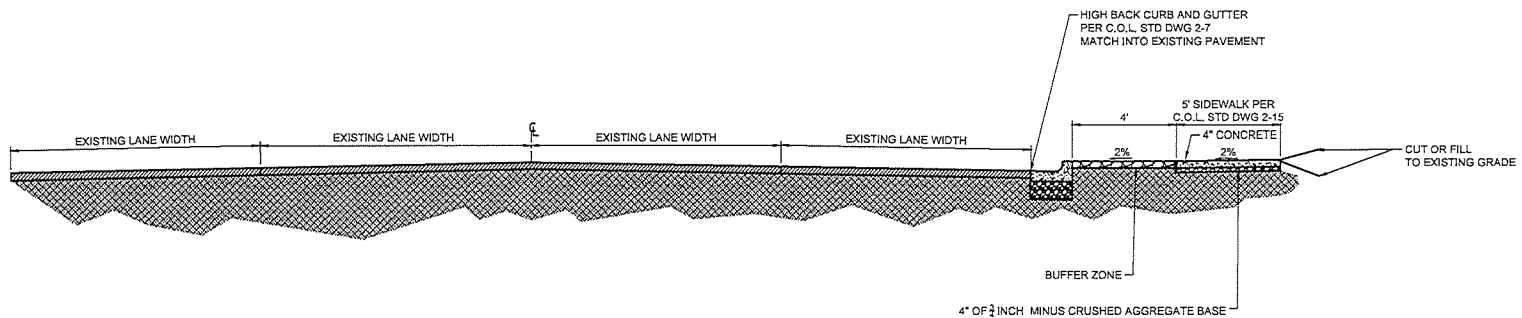
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Clarkston, WA 99403
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PRELIMINARY
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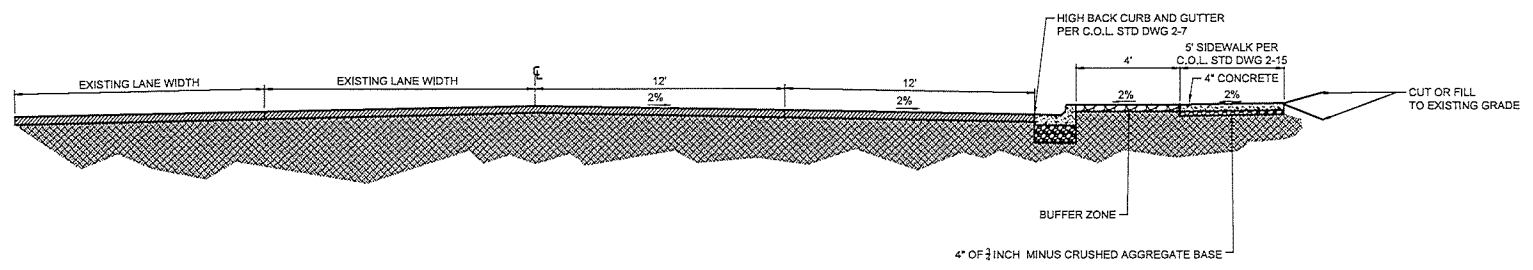
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17TH STREET GRADE CORRIDOR CONCEPT
CITY OF LEWISTON
TYPICAL SECTIONS

FILE: 07-24-07_C-500
JOB NO.: 07-24-07
DRAWN BY: SC
DESIGN BY: SC
CHECKED BY: DMW
DATE: 07-24-07
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NOTE TO ALL DIMENSIONS ONLY
LAST UPDATED: 4/15/2014
DRAWING:
C-504
SHEET: 14 OF 15



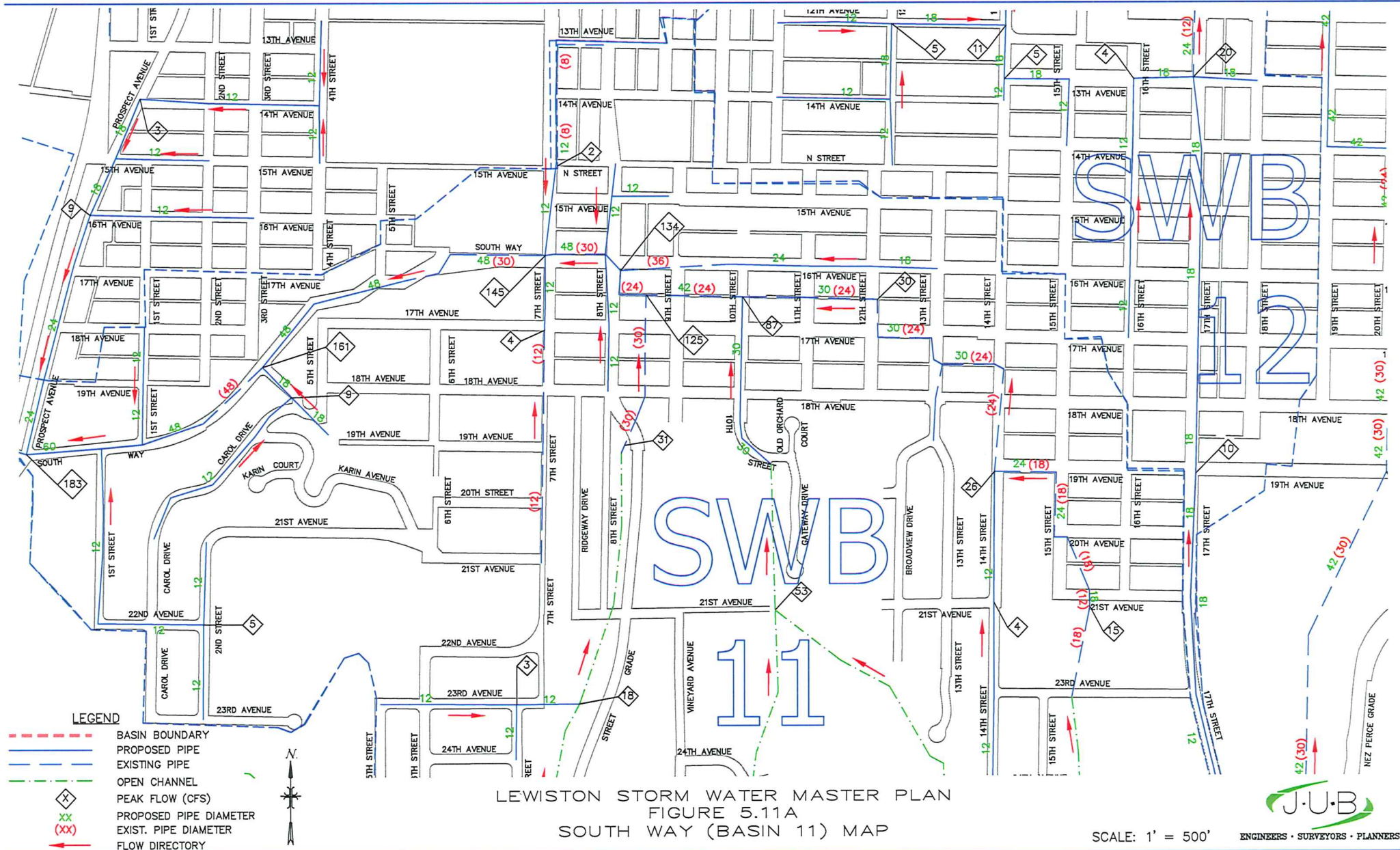
A TYPICAL PAVEMENT SECTION-TWO LANES BOTH DIRECTIONS
SCALE:NTS

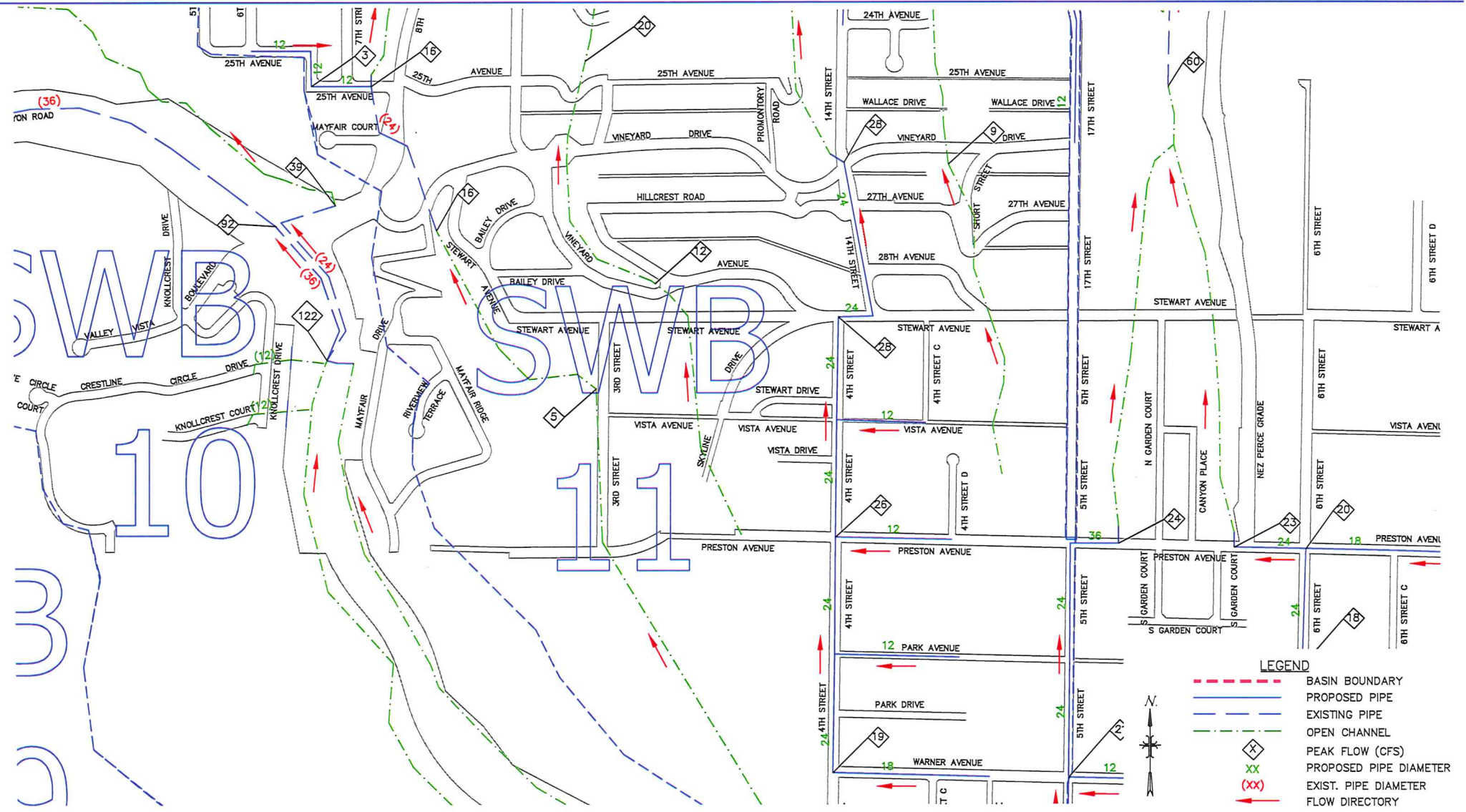


B TYPICAL PAVEMENT SECTION- WIDENING ON EAST SIDE FOR LEFT TURN LANE
SCALE:NTS

PROJECT: 17TH STREET GRADE CORRIDOR CONCEPT, CITY OF LEWISTON, WA
DRAWING: C-504, SHEET 14 OF 15
DATE: 07-24-07

Map from Stormwater Master Plan as referanced by Public Works





LEWISTON STORM WATER MASTER PLAN
 FIGURE 5.11B
 SOUTH WAY (BASIN 11) MAP

SCALE: 1" = 500'





Re: Notice of Public Hearing June 10th 2026

1 message

North Fork <dougjamesvandals@gmail.com>
To: Dawn Ortiz <dortiz@cityoflewiston.org>

Tue, Jun 2, 2026 at 8:39 AM

Thank you Dawn! I wish Rick would simply build 1 level homes to complete the subdivision, 2.6 acres so with a road and such perhaps he can build 6 spec type homes which are in great demand if under 450k. Not opposed to more family homes.

Thanks for your help,

Doug

On Mon, Jun 1, 2026, 2:47 PM Dawn Ortiz <dortiz@cityoflewiston.org> wrote:

Thank you, Kim and Doug. We'll pass this information along to the Planning and Zoning Commission.

Dawn Ortiz

Community Development Office Supervisor
City of Lewiston



T 208.746.1318 Ext 7265
215 D Street
P.O. Box 617
Lewiston, ID 83501
www.cityoflewiston.org

On Mon, Jun 1, 2026 at 10:45 AM North Fork <dougjamesvandals@gmail.com> wrote:

Hi Dawn,

I wanted to convey my wife Kim's thoughts as well as my own ..we both feel that attached paragraph 1 The Purpose of the covenants that were highly promoted by the developer that convinced us to invest and build our dream home. Compatibility is the key and nobody could honestly think a 50ft tall apartment complex is compatible to a new sub division with single family homes why Rick Keane himself drew up the protective covenants to insure those purchasing his lots would be guaranteed paragraph 1.

I have also included the plat map with the height restrictions indicated clearly once again Rick was stipulating this to insure all who built their homes their views would be protected and as their homes values as paragraph 1 mentions would not be jeopardized.

Paragraph 1 forbids rezoning for commerical use succinctly.

To me this should not even be discussed not debated it's not subjective.

Thank you,
Kim and Doug James
1621 25th Ave
Lewiston

On Tue, May 26, 2026, 2:09 PM Dawn Ortiz <dortiz@cityoflewiston.org> wrote:

Thank you for your comments, Doug. Your email will be provided to the Planning and Zoning Commission. In regard to your question, all residences within 330 feet of the property were mailed a public notice notification.

Dawn Ortiz

Community Development Office Supervisor
City of [Lewiston](#)



T 208.746.1318 Ext 7265

215 D Street

P.O. Box 617

Lewiston, ID 83501

www.cityoflewiston.org

On Tue, May 26, 2026 at 2:03 PM Douglas James <Douglas.James@bcidaho.com> wrote:

Hi Dawn,

I'd like to officially state my opposition to the proposal for a multi-unit development for Fairview Terrace by Millennium Trust, LLC.

When we purchased our lot in "Darby Village" and built our home in 2008, we did so with the covenants explicitly guaranteeing us that only residential homes would be built in this development insuring us and all who purchased the lots and built homes no rental properties would ever be adjacent to our homes. In addition, there is a strict height limit all homes had to comply with as well.

Building a 48 unit apartment complex would be a breach of contract which me and my neighbors would have to respond to accordingly. Rick Keane attempted to do this amendment back in 2008 and was turned down when the homeowners all attended the public hearing. I'm not sure how time changes anything, it was denied then and should not be considered further.

Aside from the covenants, the City isn't able to deliver adequate water pressure to this development now, we get about 30 psi, requiring homeowners to install a water pump for adequate irrigation needs of 60 psi, adding 48 apartments would not even be feasible from a water supply perspective. There's also the issue of traffic, the bank along 17th street where the vacant lots are is very steep and the added risk of additional traffic entering 17th would pose serious risks to the community.

I plan to reach out to my neighbors, **did everyone living in this development on receive the notice?**

A simple solution would be for additional residential homes to be built or selling the available acreage to the existing homeowners to allow them to have a larger parcel etc..

In summary, the covenants are quite clear residential homes only and any multi-unit complex would have a dramatic impact to our property values not to mention our view which was the reason we built our home in this location.

Thanks Dawn,

Doug

Doug & Kim James

1621 25th Ave

Lewiston ID 83501

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[City of Lewiston]

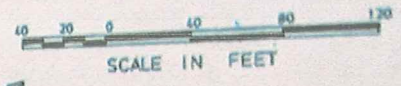
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[City of Lewiston]

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STON PROFESSIONAL
 IN PLAZA NO. 678604
 AUG. 28, 2002

DARBY VILLAGE SUBDI
 LOCATED IN THE CITY OF LEWIST
 SECTION 7 - S 1/2 NW 1/4 NE 1/
 TOWNSHIP 35 NORTH, RANGE 5
 BOISE MERIDIAN, NEZ PERCE CO
 IDAHO, NOVEMBER
 2008



LEGEND

- LOT CORNER - SET 5/8" BY 30" REIN STREET CENTERLINE MONUMENT - 50' 1/16 SECTION CORNER - FOUND BR
- LOT LINE
- STREET CENTERLINE
- - - EASEMENT LINE
- UTILITY EASEMENT INSTR. NO. 738189

OWNER

KEANE LAND COMPANY L.L.C.
 247 THAIN ROAD SUITE 108
 LEWISTON, IDAHO 83501 PH. 743-5672

SANITARY RESTRICTION

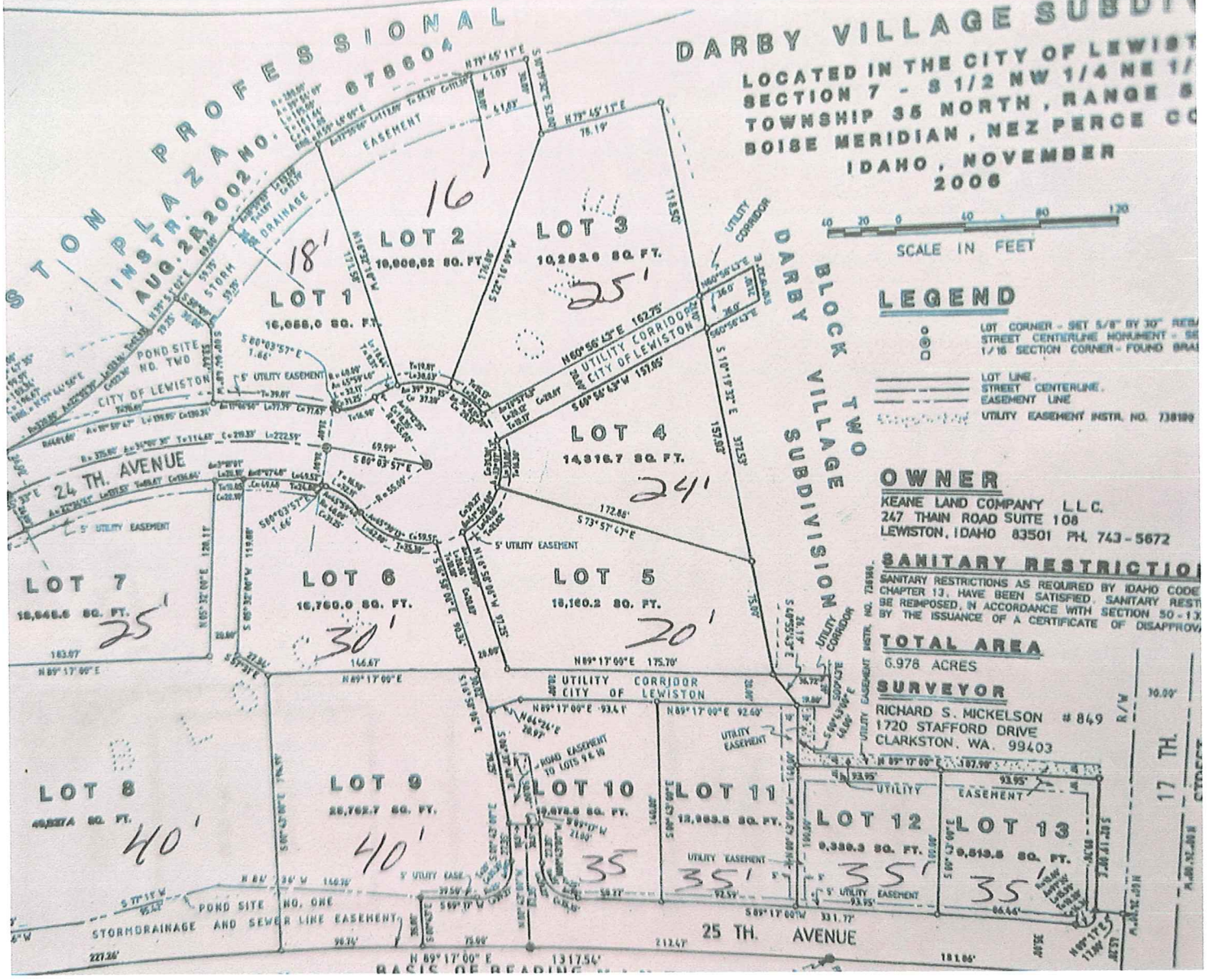
SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE CHAPTER 13, HAVE BEEN SATISFIED. SANITARY RESTRICTIONS WILL NOT BE REIMPOSED, IN ACCORDANCE WITH SECTION 50-13, BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL.

TOTAL AREA

6.978 ACRES

SURVEYOR

RICHARD S. MICKELSON # 849
 1720 STAFFORD DRIVE
 CLARKSTON, WA. 99403



DECLARATION OF PROTECTIVE RESTRICTIONS

PROTECTIVE COVENANTS for:

DARBY VILLAGE RESIDENTIAL SUBDIVISION

Which is a portion of the **FAIRVIEW TERRACE PUD** Established 1978

DARBY VILLAGE RESIDENTIAL SUBDIVISION which is
Described on the plat as filed with the Auditors office in the
County of Nez Perce, State of Idaho.

TO THE CITY OF LEWISTON, IDAHO

**ATTENTION IS DIRECTED TO THE FACT THAT HEIGHT AND
SET-BACK REQUIREMENTS APPEAR IN AN ADDENDUM WHICH IS
AN ATTACHMENT TO THE RECORDED PLAT**

1. **PURPOSE.** The purpose of these restrictions is to insure the use of the property for attractive residential purposes, to prevent nuisances, to prevent impairment of the attractiveness of the property, to maintain the desired tone of the community, to protect and preserve the value of such property, to provide attractive, well designed Single-Family residential accommodations in support of *Darby Village Residential Estates* Development Plan and integrate this with adjacent residential areas, to promote a more desirable living environment than would be possible through application of minimum zoning requirements and thereby to secure to each lot or block owner full benefit and enjoyment of his/her home with no greater restriction upon the free and undisturbed use of his/her site than is necessary to insure the same advantages to all other site owners. Anything tending to detract from the attractiveness and value of the property for private residence or single-family purposes will not be permitted.

2. **DURATION.** All covenants, conditions and restrictions and reservations herein contained shall be perpetual and shall apply to and be forever binding upon the undersigned, their heirs, executors, administrators and assigns, and all their grantees, their heirs and assigns and are imposed upon said realty as an obligation or charge against the same for the benefit of the owners herein named, and the owners of property in *DARBY VILLAGE RESIDENTIAL ESTATES* Subdivision, that

Dawn Ortiz
Community Development Department
PO Box 617
Lewiston, Idaho 83501

Dear Ms. Ortiz,

I was made aware of the city's consideration of an ill planned High-Density proposal for the Darby Village Subdivision. I frequently drive by that area going to Winco, the mall and other shopping venues as well as medical appointments. I have several friends in that area as well as relatives. Going in and out of 25th is always kind of a gamble. It is very hard to see cars coming, especially if they are coming fast, which frequently happens. I can't imagine increasing the traffic flow without increasing the danger there.

There are MANY other places in the city that would lend themselves better to increase High-Density which would not have the negative impact on traffic and the community. I also find it rather distasteful to change the zoning from Low to High after the people on that street have already made the choice to invest and build their homes there. This is an awful bait and switch for those folks. It definitely smacks of poor credibility on the part of the city to consider this proposal.

I encourage the city to take the high road and do not make what will be a dangerous zone change and will affect more than just the people of 25th street. It will affect everyone who travels that stretch of road.

Thank you for your consideration.

Sincerely,

Lisa Fishback



Rezoning of Fairview subdivision

1 message

Judith Leslie <judyleslie106@outlook.com>
To: "dortiz@cityoflewiston.org" <dortiz@cityoflewiston.org>

Sun, May 31, 2026 at 3:15 PM

To whom it may Concern:

As regards this rezoning: it is my opinion that this could be a detriment to the community due to the enormous safety issues a 48 apartment complex would add to this specific area.

Moving traffic, especially parties entering or exiting homes and businesses in that area, already have a very difficult time upon approach due to the hill, visibility issues and most often, the speed of the traffic. Adding density via cars, trucks and pedestrians will pose a significant safety issues when added to the already dangerous conditions present at the property which is potentially going to be rezoned.

I understand the need/desire to accommodate more affordable housing in Lewiston, but multi-family housing THERE, seems a dangerous solution for this community.
Please consider ALL safety issues before rezoning this property.

Thank you for your time and consideration.

Judy Leslie... a concerned citizen!

Sent from my iPhone

Re: Fairview Terrace Planned Unit Development Amendment

Greetings,

I live outside the City limits, however I am routinely in the City for services and shopping and have multiple friends living in the area impacted by the proposed zoning change. In addition, prior to my retirement and moving to the Lewiston area five years ago, I was employed in a management role for a local public agency in an area which experienced significant growth and development.

It's easy to recognize the consequences that will impact the area if this zoning change is approved. Citizens purchased their homes with an understanding and expectation of the area's future design. Modification of the zoning breaks the confidence those citizens had placed in the City. Potential risks to the current residents include heavier traffic, aesthetic changes to the neighborhood, and risk of reduced property values among other things. Modifying the zoning after the neighborhood is well established seems like a potential breach of trust. Therefore, I would encourage you to place your current residents' interest as your first priority and respect their desire to see this neighborhood remain in the zoning plan which was in place when they purchased their homes.

Respectfully,

Dale Fishback
2724 Grelle Ave.
Lewiston, ID 83501



Darby Village Subdivision, High Density Residential, R4, Zone Change

1 message

Michael Thomason <mthomason5722@gmail.com>

Tue, Jun 2, 2026 at 3:53 PM

To: dortiz@cityoflewiston.org

Cc: Katie Hollingshead <khollingshead@cityoflewiston.org>, Tina Thomason <tthom3882@gmail.com>

Planning and Zoning Commissioners,

I am concerned about the concept of rezoning land near our home at [1609 25th Avenue, Lewiston](#), from low density to the highest density R4zone. While you may not be charged with determining the fairness of the loss of view, or potential loss of home values, I hope it makes you think about the issues of fairness.

Given that, I will concentrate my comments with concerns about traffic egress, pedestrian safety and water system constraints, in no particular order of importance.

Water System:

Several current homeowners, me included, have had to have pressure pumps installed in order to enjoy normal water pressure and usage. The city recognized the issue and paid for pressure pumps. Will it help having forty eight more homes here?

Pedestrian Safety:

Pedestrians would need safe passage both north and south as they walk along the west side of 17th street, or an alternative route.

Children need safe access to schools and might be forced to use the City Right of Way to access 24th Ave and 15th St. Neither have sidewalks which could potentially be quite dangerous to the children.

Traffic:

The intersection of 17th St and 25th Avenue is very challenging. The creation traffic ingress/egress of 48- 3 bedroom units will be chaotic and dangerous. A **valid** traffic study must happen. We live on a dead-end street and 17th Street. is our only access.

Blasting: When we were having our home built in 2019, we ran into such difficult digging, that we altered our basement plans because of basalt rock. Please do not allow blasting because of potential damage to surrounding homes.

Thank you for your consideration. I hope you will deny the rezone request sought by Millennium Trust, LLC

Tina Marie Thomason

[1609 25th Avenue](#)

[Lewiston, Idaho](#)



Fairview Terrace PUD Zoning

1 message

J D <jdhappysealion6@gmail.com>
To: dortiz@cityoflewiston.org

Wed, Jun 3, 2026 at 9:13 AM

Good Morning,

I would like to comment on the proposed zoning changes for the Darby Village Subdivision Block 2. The current traffic, parking and utilities in this area are already strained as the City well knows because they had to pay for water pressure pumps in most of the surrounding houses just to get enough water to existing customers. I was told a project like this was proposed in 2010 and deemed infeasible due to traffic safety concerns and I have to say, congestion and the population have only increased since then. Why is this being considered now when things have only gotten worse? I think the City should do a traffic study and have an infrastructure plan before even considering changing the zoning to a less compatible and safe zoning designation.

Thank you,
Jen Doughty

To:

Mayor Dan Johnson
City of Lewiston Council Members
Planning and Zoning Board Members
Katie Hollingshead
Dawn Ortiz

This is being sent in regards to the zone change request by Millennium Trust LLC on the property located in the Darby subdivision.

I oppose this zoning request as a current home owner who bought in this neighborhood. The appeal for me was the location of the home, the neighborhood, and the covenants that apply.

As stated in the Protective Covenants, "the Purpose of these restrictions was to insure the use of the property for attractive residential purposes, to prevent nuisances, to prevent impairment of the attractiveness of the property, to maintain the desired tone of the community, to protect and preserve the value of such property, to provide attractive well designed Single Family residential accommodations in support of Darby Village Residential Estates Development Plan and integrate this with adjacent residential areas, to promote a more desirable living environment than would be possible through application of minimum zoning requirements and thereby to secure to each lot or block owner full benefit and enjoyment of his/her home with no greater restriction upon the free and undisturbed use of his/her site than is necessary to insure the same advantages to all other site owners, Anything tending to detract from the attractiveness and value of the property for private residence or single family purposes will not be permitted.

There are many factors as to why this change should not be approved. But I would like to request that each of you take the time to physically go to the proposed site to view this site. Ask yourself, would you like to have three four story 48 unit building in your backyard?

Thank you for taking the time to review my comments and concerns.

Debbie Kelly
1535 24th Avenue
Lewiston, ID 835.1
208-791-2694
dmmkelly@yahoo.com



Public Hearing June 10th regarding Darby Village SubdivisionMi

1 message

Michelle Phillips <mphillips275@gmail.com>
To: "dortiz@cityoflewiston.org" <dortiz@cityoflewiston.org>

Wed, Jun 3, 2026 at 12:00 PM

Dear Chair and Committee Members,

My name is Michelle Phillips, and I reside at [1537 24th Ave., Lewiston, Idaho 83501](#). I appreciate the opportunity to submit along with my husband, Renaldo Phillips, this statement regarding the proposed rezoning of Block 2 in the Darby Village Residential Subdivision.

I am writing to formally oppose the rezoning request.

To be brief, I agree with him that this proposal violates the Declaration of Protective Restrictions (Doc# 738792 attached), and the reasons stated in his statement. And this action would change the entire feel of our neighborhood and significantly drop the value of our home and its desirability. I am also concerned about the extreme loss of privacy this would have in our yard and how much foot traffic we would experience from 48 families between our and our neighbors homes. We will also lose all of our eastern view and morning sun. I have to say, to put this in perspective, as proposed, if I take ten large steps from my house the proposed structure would be 50 feet above me.

I respectfully ask of the Commission the following to ensure compatibility with our existing neighborhood:

- Deny the proposal to change the zoning of Darby Village Subdivision Block 2 and maintain the R2 zoning.

Thank you for considering my concerns and for your commitment to protecting the character and safety of our neighborhood.

Sincerely,

Michelle Phillips

Dawn Ortiz
Community Development Dept.
City of Lewiston

Ms. Ortiz, please consider the following comments and forward to staff and P&Z Commissioners as you deem necessary. We are opposed to the zone change from R2 to R4 proposed by Millennium Development Group for Darby Village Subdivision Block 2.

When Tina and I decided to invest in a home that met our needs, it was important to find a lot on a quiet street, in a well kept neighborhood that offered at good view. We felt those attributes along with a good house plan would protect the largest investment of our lifetime. We settled on our current lot and were even more pleased that the City had zoned the property R2 and the developer had created a list of protective covenants to insure the subdivision would be protected. I have enclosed a copy of those covenants along with this communication. The intended purposes for the covenants is captured at the beginning of the document. The intended purposes include statements such as, "prevent impairment of the attractiveness of the property" and "maintain the desired tone of the community" and "protect and preserve the value of said property. Perhaps the final sentence in that section says it best..."Anything tending to detract from the attractiveness and value of the property for private residence or single-family purpose will not be permitted." It seems to me that the zone change and size of the project outlined by Millennium Development Group creates exactly the opposite results to us and many of our neighbors.

It is our opinion that the current proposal submitted for this rezone runs counter to the language in the purpose statement found in the covenants document. Let's consider some of the issues that I think will devalue our properties and negatively impact the attractiveness if the R4 zone is allowed:

a. Traffic safety: The lone entrance and exit point from 25th Avenue can be problematic because of line of sight obstructions, traffic speeds and number of cars. It even gets more concerning when 17th Street gets icy. There is potential for these issues to be exacerbated by adding another entrance so close to 25th Ave. While the applicant has provided some information about car travel, I think it's possible that there will be more cars using the exit than

their study indicates.

b. Pedestrian safety: I'm assuming that some of the people living in the apartments might have children attending the local elementary school. It's likely that they will choose the shortest route to school, west on the utility easement to 24th then north to the school. Much of this route is lacking proper sidewalks.

c. Viewscape encroachment: When guests arrive at our home the view is almost always mentioned as an attribute. If we sell the place the first sentence in our advertisement will mention the view. There is little doubt 3 structures of the size and height as those proposed will cause the loss of some of our view and some of our homes value.

d. Increased noise: It's very likely that adding 48 apartments with an unknown number of tenants will make more noise in the neighborhood.

e. Water issues: Several of us living on 24th and 25th have required the installation of pressure pumps in order to have enough volume/pressure to irrigate our lawns or the various domestic uses. The City of Lewiston recognized the problem and were kind enough to pay for the needed equipment. Will the addition of 48 apartments make our water situation better or worse?

Thank you for serving on the P&Z Commission and for your consideration of our comments.

Michael A. Thomason
1609 25th Ave.
Lewiston, Idaho

DECLARATION OF PROTECTIVE RESTRICTIONS

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Which is a portion of the FAIRVIEW TERRACE PUD Established 1978
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TO THE CITY OF LEWISTON, IDAHO

**ATTENTION IS DIRECTED TO THE FACT THAT HEIGHT AND
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1. **PURPOSE.** The purpose of these restrictions is to insure the use of the property for attractive residential purposes, to prevent nuisances, to prevent impairment of the attractiveness of the property, to maintain the desired tone of the community, to protect and preserve the value of such property, to provide attractive, well designed Single-Family residential accommodations in support of *Darby Village Residential Estates* Development Plan and integrate this with adjacent residential areas, to promote a more desirable living environment than would be possible through application of minimum zoning requirements and thereby to secure to each lot or block owner full benefit and enjoyment of his/her home with no greater restriction upon the free and undisturbed use of his/her site than is necessary to insure the same advantages to all other site owners. Anything tending to detract from the attractiveness and value of the property for private residence or single-family purposes will not be permitted.

2. **DURATION.** All covenants, conditions and restrictions and reservations herein contained shall be perpetual and shall apply to and be forever binding upon the undersigned, their heirs, executors, administrators and assigns, and all their grantees, their heirs and assigns and are imposed upon said realty as an obligation or charge against the same for the benefit of the owners herein named, and the owners of the remaining property in *DARBY VILLAGE RESIDENTIAL ESTATES* Subdivision, their successors and all their grantees, their heirs or assigns, as a general plan for the benefit of this until such time as seventy five percent (75%) [or more of the owners of the land area within said planned unit development or the portion of the planned unit development finally platted at the time] shall determine to amend or terminate any or all of the covenants, which amendment or termination shall be reduced to writing and executed by the owners of not less than seventy five percent (75%) or more of the owners of the land area within said Subdivision or the portion of the Subdivision finally platted at the time] and thereafter recorded in the office of the County Recorder of Nez Perce County, of the State of Idaho.

3. **BUILDING RESTRICTIONS and LIMITATIONS on ALL BUILDINGS IN THE SUBDIVISION.**

**THESE RESTRICTIONS APPLY TO ALL
 LOTS IN THIS SUBDIVISION**

**PLEASE REFER TO THE ADDENDUM TO THE PLANNED UNIT
 DEVELOPMENT AGREEMENT WHICH IS AN ATTACHMENT
 TO THE RECORDED PLAT**

No structure shall be constructed, placed or maintained on any lot until the construction plans and specifications and a plan showing the location of the structure upon the lot have been approved by the City of Lewiston.

A. Any building, fence, wall, structure, trees, or plants of any kind shall conform to the requirements

of the protective covenants. Trees which are planted in subdivision, when fully matured, shall not exceed and shall be maintained not to reach more than 20 feet in height from the ground measured at the base of the tree to the top limb, to ensure and maintain views from adjoining residences.

B. All buildings, guest houses and other outbuildings incident thereto, shall be of permanent non-mobile construction, and no building constructed, placed or maintained permanently or temporarily for residential purposes on any lot shall consist in whole or in part of a house-trailer or mobile home of any type, whether or not converted to a permanent structure.

C. No garage or other outbuilding shall be erected on a lot unless and until a dwelling unit shall have been first constructed thereon, or a written contract for the construction of such dwelling unit is entered into between the owner and a responsible building contractor. Any garage or other outbuilding erected on said lot shall never be used for residential or dwelling purposes.

D. The exterior of any structure shall be completed within one (1) year of the commencement of construction. External completion shall include finished painting, stain or natural finish or a finish as so desired by the Architectural Control Committee. During the period of construction, the owner shall cause the premises to be kept free and clear of debris and waste matter and shall cause all of such debris and waste matter to be disposed of in a proper manner so that the same imposes no interference or detraction to adjoining property and shall employ reasonable efforts to maintain dust control. As soon as construction is completed and weather conditions permit, each purchaser, or his successors or assigns, shall landscape, seed and plant the lot or lots upon which he has built and shall thereafter maintain the grass and planting areas in a condition equal and comparable to that prevailing within the occupied portion of this Subdivision. These restrictions shall include the reconstruction of damaged structures as well as additions to existing structures.

E. No incinerator for trash disposal shall be permitted on the property. All containers for garbage or other waste shall be kept in a sanitary condition and shall be enclosed so they are not visible or obnoxious to adjoining properties. No portion of such property shall be used or maintained as a dumping ground for waste material.

F. All property upon which dwellings are constructed shall at all times be kept in a clean, sightly, orderly condition, and no trash, garbage, litter, debris, machinery, implements, lumber or other building materials, shall be permitted to be or remain exposed on any property visible from any street or adjoining or nearby premises. No owner shall permit any camper, boat, trailer, recreational, broken-down vehicles, or other vehicle to be stored upon his property without the same being screened by a suitable structure from view from adjacent streets or premises.

G. No signs of any kind shall be displayed to public view on any portion of said property except there may be one sign displayed by builders, realtors or owners for the purpose of advertising the property for sale or rent.

H. No animals, livestock or poultry of any kind shall be placed, kept or maintained on any residential lot, except that dogs, cats or other domestic household pets may be kept ; provided they are not kept, bred, or maintained for any commercial purposes and provided that the pets may not be permitted to run unattended. All kennels constructed for pets shall be maintained in a clean and sanitary condition.

I. All utilities to structures upon subdivision lots shall be placed underground.

J. No lot within this Subdivision shall be subdivided into a smaller lot or re-conveyed in less than the original dimensions thereof as shown by the recorded plat.

K. All structures built within in the Darby Village Residential Subdivision, shall be subject to an established Architectural Control Committee consisting of the Primary developer of this subdivision for review of architectural renditions of a residence to be constructed within this sub-division. The committee shall receive and review the plans and determine if said plans conform to the desired aesthetics of Darby

Subdivision. Committee shall be entitled to review plans for a period of not more than 60 days and give written notice as to acceptance or denial, or of minor or major changes needed of said plans.

4. BUILDING RESTRICTIONS and LIMITATIONS on SINGLE-FAMILY BUILDINGS.

No structure shall be constructed, placed or maintained on any SINGLE FAMILY lot until the construction plans and specifications and a plan showing the location of the structure upon the lot have been approved by the City of Lewiston.

A. Any fences or walls shall conform with the decor and appearance of the neighborhood and shall conform with city code requirements and, in addition thereto, all structures, trees, or plants of any kind shall conform to the height restrictions of the Subdivision Agreement.

B. No single family dwelling shall be constructed or maintained on any such lot unless the enclosed ground floor area thereof shall have a ground floor of at least 1,800 square feet, unless the same is constructed with a daylight basement, in which latter case the ground floor area may be a minimum of 1,200 square feet. Said square footage shall include the walls proper of the dwelling, exclusive however, of any porches, pagodas, patios, courts, and attached garages. All residences shall have at least a double car attached garage to the residential dwelling.

C. Garages will be provided for all automobiles, pick-ups and trucks.

5. REMEDIES. If a property owner, or their heirs or assigns or their grantees, heirs or assigns, shall violate any of said restrictions and conditions herein contained, it shall be lawful for any other person or persons owning any of said real property within said Subdivision to bring proper action to enjoin or restrain said violations or to collect damages on account thereof. The owners, however, shall not be obligated to enforce any of the terms of this instrument, and all conveyances or deeds for lots within this Subdivision shall be subject to and make reference to the covenants herein contained and all covenants and restrictions herein contained are attached to the above described lands and shall run with the title thereto.

6. SEVERABILITY. Any determination by any court of competent jurisdiction that any provision in this instrument is invalid or unenforceable shall not affect the validity or the enforceability of the remaining provisions of this instrument and the same shall remain in full force and effect.

7. WAIVER OR ABANDONMENT. The failure to enforce any breach or violation of any of the provisions of this instrument shall not constitute an abandonment or waiver of any right to enforce such provisions or any such subsequent breach or violation of such provision or of any of the other covenants herein above set forth.

8. RUNNING WITH THE LAND. These covenants shall run with the land and shall be a burden upon each lot in this Subdivision and are for the exclusive benefit and protection of the property owners with the premises described in this Subdivision.

In order to maintain a view corridor for all lots within Darby Village Residential Subdivision, the height limitations or special conditions set Out below will be enforced by the City of Lewiston Planning and Zoning Department and/or the developer or Architectural Control Committee. The height shall be measured from the highest point of the adjacent curb of their lot to the highest point of the proposed dwelling. This relationship must be shown on the construction drawings submitted to the City of Lewiston as required for a building permit and certified by a licensed engineer or surveyor. Special considerations are also detailed below for two lots to allow for extra inside storage on their lot. Should there be a discrepancy as to any of these restrictions, an appeal may be submitted to the architectural control committee for review and to achieve an amendment to these restrictions.

- A. The maximum building height for Lot No. 1 shall not exceed 18' 0" above the highest point curb-line on the frontage of said lot.
- B. The maximum building height for Lot No. 2 shall not exceed 16' 0" above the highest point curb-line on the frontage of said lot.
- C. The maximum building height for Lot No. 3 shall not exceed 25' 0" above the highest point curb-line on the frontage or access of said lot.
- D. The maximum building height for Lot No. 4 shall not exceed 24' 0" above the highest point curb-line on the frontage or access of said lot.
- E. The maximum building height for Lot No. 5 shall not exceed 20' 0" above the highest point curb-line on the frontage or access of said lot.
- F. The maximum building height for Lot No. 6 shall not exceed 30' 0" above the highest point curb-line on the frontage or access of said lot.
- G. The maximum building height for Lot No. 7 shall not exceed 25' 0" above the highest point curb-line on the frontage or access of said lot.
- H. The maximum building height for Lot No. 8 shall not exceed 40' 0" above the highest point curb-line on the frontage or access of said lot. Lot 8 shall also be entitled to construct an outbuilding not to exceed more than 2,000 sq. ft. in gross area. Said outbuilding shall be constructed to meet the aesthetics of other structures on said lot and shall conform to the same requirements of Darby Village Residential Subdivision.
- I. The maximum building height for Lot No. 9 shall not exceed 40' 0" above the highest point curb-line on the frontage or access of said lot. Lot 9 shall also be entitled to construct an outbuilding not to exceed more than 2,000 sq. ft. in gross area. Said outbuilding shall be constructed to meet the aesthetics of other structures on said lot and shall conform to the same requirements of Darby Village Residential Subdivision.
- J. The maximum building height for Lot No. 10, 11, 12, & 13 shall not exceed 35' 0" above the highest point curb-line on the frontage or access of said lot.

SET-BACK REQUIREMENTS:

- J. There shall be a minimum set back of 20 feet from the front property line for buildings. All buildings shall have a minimum side yard set back of 10 feet. All buildings shall have a minimum rear set back of 20 feet.
- No lot within this Subdivision shall be subdivided into a smaller lot or re-conveyed in less than the original dimensions thereof as shown by the recorded plat.

(Note: Water and Sewer equity buy-in fees, and water meter costs shall be borne by the purchaser of each individual lot and shall be paid to the community development dept. at time of purchasing their building permit. Each lot owner will be required to install sidewalks, fronting their property, at their own expense as required by the Community Development Department.)

End of Document

JUNE 3, 2026

TO: CITY OF LEWISTON MAYOR DAN JOHNSON
CITY OF LEWISTON COUNCIL MEMBERS
PLANNING AND ZONING BOARD MEMBERS
KATIE HOLLINGSHEAD
DAWN ORTIZ

YOUR HARD WORK AND DEDICATION IN
GUIDING THE CITY OF LEWISTON IS APPRECIATED!

FROM: PATRICK KELLY
1535 24TH AVE
LEWISTON, ID 83501

SUBJECT: THE PURPOSE OF THIS LETTER IS TO
ADDRESS THE PROPOSED ZONE CLASSIFICATION
CHANGE TO THE DABBY VILLAGE SUBDIVISION
BLOCK II FROM ITS EXISTING CLASSIFICATION
OF R2 - LOW DENSITY TO R4 - HIGH DENSITY

I HAVE FORMATTED THIS LETTER INTO FOUR SECTIONS IN AN ATTEMPT TO BE BRIEF AND TO THE POINT. HERE ARE THE SECTION HEADINGS:

- 1) FACTS
- 2) MY STANCE AND OPINION
- 3) RECOMENDATIONS
- 4) CLOSING AND EXHIBITS (2)

FACTS:

1) DARBY VILLAGE BLOCK II IS CURRENTLY ZONED R2 LOW DENSITY,

2) MILLENIUM TRUST LLC AND RICHARD KEANE (HEREAFTER CALLED "DEVELOPER" OR "THE DEVELOPER") CLAIMS BLOCK II WAS ORIGINALLY ZONED AS R4

3) THE DEVELOPER WILLINGLY CHANGED THE PROPERTY ZONING FROM R4 TO R2 IN APPROXIMATELY 2006 STATING ALL RESTRICTIONS AND CC&R'S ON BLOCK I WOULD APPLY TO BLOCK II

4) IN 2010 THE DEVELOPER SAID "IN NO MANNER SHALL PHASE II (BLOCK II) BE REGULATED OR MANDATED BY THE PROTECTIVE COVENANTS AS DESCRIBED WITHIN THE DOCUMENT WITHIN PHASE I OR THE CC&R'S."

FACTS, CON'T:

5) THE DEVELOPER'S COVER LETTER (NOT DATED) CLAIMS THAT THE 25 YEAR SPAN OF DEVELOPING THEIR 17 ACRE PROPERTY. "THE COMMUNITY HOUSING NEEDS, DEVELOPMENT PATTERNS AND INFRASTRUCTURE CAPABILITIES HAVE EVOLVED SUBSTANTHALLY. THE PROPOSED AMENDMENT REFLECTS THE NATURAL PROGRESSION AND COMPLETION OF THE ORIGINAL VISION OF THE PROPERTY."

6) AS OF 9:30 AM, JUNE 2, 2026 ZILLOW WEBSITE SHOWED 162 RESIDENTIAL HOMES FOR SALE IN LEWISTON, IDAHO. APPROXIMATELY 30 RENTAL APARTMENTS WERE ALSO AVAILABLE IN LEWISTON PER THE TRULIA WEBSITE.

7) THE PROPOSED TRAFFIC ENTERING AND EXITING THE BLOCK II PROPERTY FROM 17TH STREET SEEMS BOTH INADEQUATE AND DANGEROUS. THE DEVELOPER SAYS IT WILL BE "ONE LANE." WHAT IF YOU HAVE A VEHICLE TRYING TO GET ONTO 17TH STREET FROM THE PROPERTY BUT 17TH STREET TRAFFIC IS HEAVY ENOUGH THEY CANNOT SAFELY EXIT THE "ONE LANE" DRIVEWAY? AND NOW COMPLICATE THAT WITH ANOTHER VEHICLE ON 17TH WANTING TO DRIVE INTO THE PROPERTY. ONE LANE MEANS ONE VEHICLE AT A TIME.

MY STANCE AND OPINION:

NOTE:

I'LL OPEN HERE WITH ACKNOWLEDGEMENT OF THE FACT THAT YOU ALL ARE IN A VERY UNENVIABLE POSITION WHERE REGARDLESS OF YOUR DECISION, SOMEBODY IS GOING TO BE UPSET.

1) REGARDING FACT #5 - IF IT IS THE DEVELOPER'S POSITION TO CARRY OUT HIS "ORIGINAL VISION" FOR THE PROPERTY WHY THEN DID THE DEVELOPER CHANGE THE "SO CLAIMED" ORIGINAL R4 ZONING TO THE CURRENT R2 CLASSIFICATION? THIS IS STARTING TO GET MESSY.

2) ON THAT NOTE, IF THIS TRULY WAS THE DEVELOPER'S "ORIGINAL VISION" FOR BLOCK II, WHY DIDN'T HE PUT IN AN ACCESS ROAD OFF OF 25TH AVE INTO BLOCK II INSTEAD OF SELLING ALL THE LOTS AS RESIDENTIAL BUILDING SITES?

3) THE DEVELOPER'S COVER LETTER CLAIMS 17TH ST IS PARTIALLY ON HIS PROPERTY, ALL I CAN SAY IS EVERYTIME I HAVE PURCHASED PROPERTY THE DISCLOSURE SAYS "PROPERTY LINE ARE APPROXIMATE AND ARE NOT GUARANTEED." SOME SAY "BUYER TO VERIFY PROPERTY LINES"

MY STANCE AND OPINIONS, CONT

3) CONTINUED

I'M RELATIVELY SURE 17TH ST WAS ALREADY THERE WHEN THE DEVELOPER PURCHASED THE PROPERTY. MAYBE HIS PROPERTY IS ON 17A STREET VERSUS 17TH STREET BEING ON HIS?

4) THE DEVELOPER CLAIMS HE'S BEEN ^{PAYING} TAXES ON THE PROPERTY FOR 26 YEARS "WHILE ALLOWING UNINTERRUPTED PUBLIC USE OF THE ROADWAY." HMMM, SIMPLY PUT THE DEVELOPER DOES NOT OWN THE ROAD! HE SHOULD HAVE DONE HIS HOMEWORK BETTER 26 YEARS AGO. MY OPINION IS THIS IS A BULLYING TACTIC IN A FEEBLE ATTEMPT TO GET WHAT HE WANTS. VERIFYING PROPERTY LINES IS BUYER'S RESPONSIBILITY!

5) HOW DID THE DEVELOPER ADD A FOOTNOTE CHANGING THE CC&R'S ON BLOCK II IN 2010?

6) NOW TO BE HONEST, I'M A FIRM BELIEVER IN THAT "THE RIGHT TIME AND THE RIGHT PLACE" MUST EXIST SIMULTANEOUSLY FOR A POSITIVE OUTCOME. THE DEVELOPER'S PROPOSAL MAY BE THE RIGHT TIME BUT IT'S DEFINITELY NOT THE RIGHT PLACE. WHEN WE PURCHASED OUR HOME WE RESEARCHED "BLOCK II"

MY STANCE AND OPINIONS, CONT'

6) CONTINUED

AND FOUND IT WAS ZONED AS R2. WE KNEW SOMEDAY THERE WOULD BE PRIVATE RESIDENTIAL HOMES BUILT THERE WITH THE SAME RESTRICTIONS AND COVENANTS AS OURS AND WE WERE GOOD WITH THAT. THE DEVELOPER'S PROPOSAL OF NOT 1, NOT 2 BUT 3 FIFTY FOOT TALL CONDO UNITS COMPLETELY DESTROYS QUALITY OF LIFE IN THIS NEIGHBORHOOD. THE THOUGHT OF PEOPLE PEERING DOWN ON ME FROM 40 FEET ABOVE ME IS DISTURBING AND CREEPY.

7) I HAVEN'T TOUCH THE SUBJECT OF FOOT TRAFFIC, CHILDREN WALKING TO & FROM SCHOOL, WALKING DOWN THE STREETS BECAUSE THERE'S NO SIDEWALKS, I WON'T, BUT I'M THINKING YOU HAVE. YOU HAVE MANY FACTORS TO CONSIDER AND I THANK YOU!

RECOMMENDATION:

WITH ALL DUE RESPECT, I ASK YOU, ON BEHALF OF MY NEIGHBORS AND MYSELF, THE BOARD VOTE TO DENY THIS ZONE CHANGE REQUEST, AND KEEP THE CURRENT R2 ZONING INTACT. THANK YOU.

CLOSING:

I ADMIT I DO NOT KNOW THE DETAILS OF THE CITY OF LEWISTON'S LONG TERM COMPREHENSIVE PLAN BUT I'M REASONABLY SURE IT DOESN'T HAVE ANY 50FT CONDO⁺ UNITS IN R2 ZONED NEIGHBORHOODS

I DO INDEED THINK CONDO UNITS OF THIS MAGNITUDE COULD FIT IN LEWISTON UNDER THE RIGHT CIRCUMSTANCES. DARBY SUBDIVISION IS AN R2 NEIGHBORHOOD. WE WERE ALL TOLD THAT. WE BASED OUR DECISION TO LIVE HERE BASED ON THAT. NOW THAT WE'RE ALL HERE AND COMMITTED, THE DEVELOPER WANTS TO CHANGE THE RULES TO FIT HIS WANTS AND DESIRES WITH ABSOLUTELY NO REGARDS WHATSOEVER TO THE PEOPLE HE GLADLY SOLD LOTS TO AND ACCEPTED THEIR MONEY ON WHAT NOW APPEARS A SCAM IN THE MAKING FOR 26 YEARS. I DON'T BUY THE "ORIGINAL VISION" STORY. IF THE DEVELOPER TRULY HAD "VISION", HE WOULDN'T HAVE LAND-LOCKED 2.65 ACRES HOPING TO GET A ONE LANE ACCESS TO 17TH ST. ALL THE DEVELOPER GENERATED TERMS, RULES AND REGULATIONS WERE PUT IN PLACE FOR A REASON. WE HAVE ALL ABIDED BY THE TERMS AND CC&R'S. NOW IT'S TIME THE DEVELOPER LIVE WITH THEM TOO!


-7-

CLOSING, CONTINUED

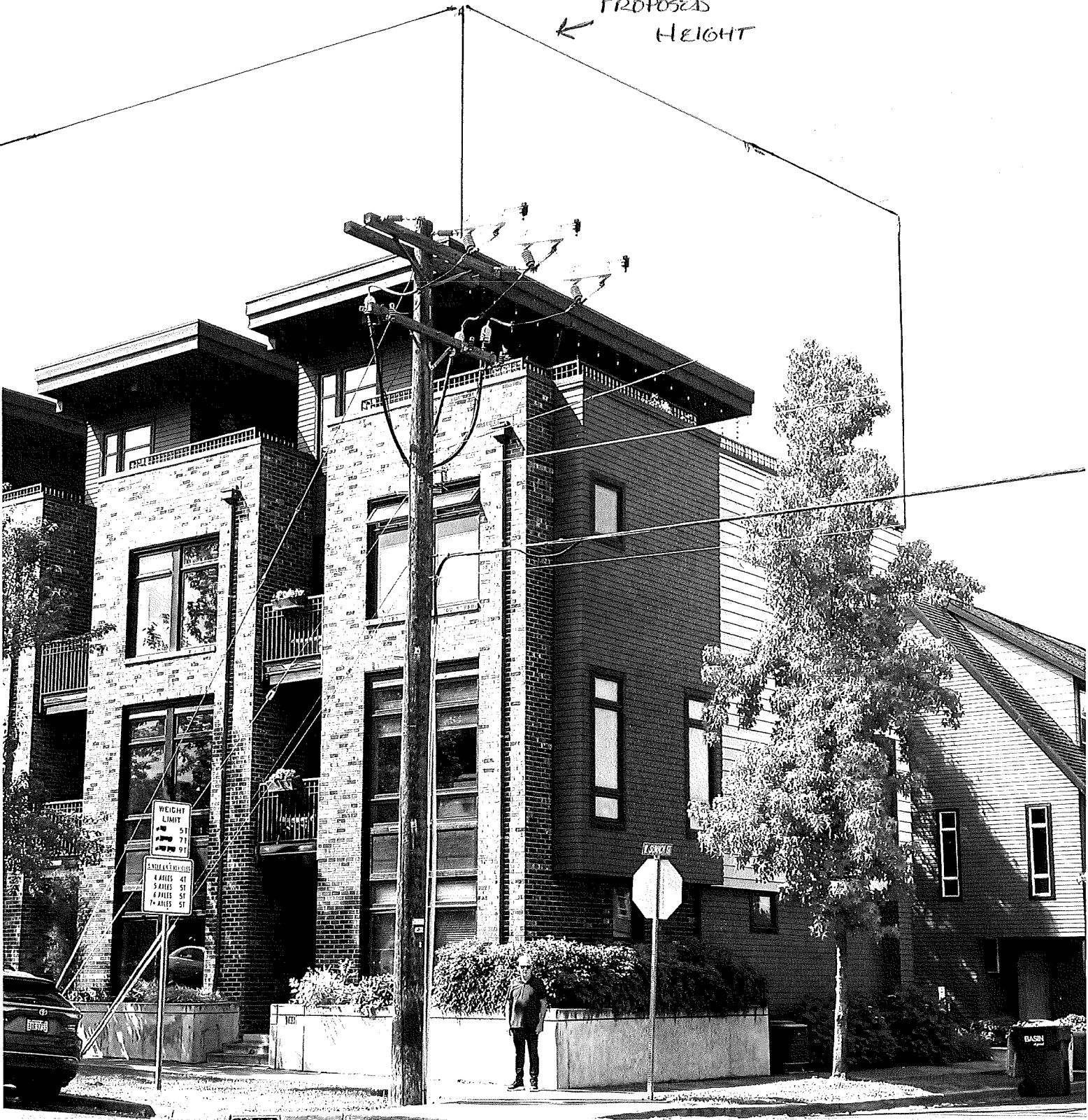
MY THANKS TO EVERYONE FOR LISTENING TO ME.
THIS VERY WELL IS THE HARDEST LETTER I'VE
EVER WRITTEN. IT'S HARD TO NOT TAKE
THIS PERSONALLY BUT IT'S HITTING VERY,
VERY CLOSE TO HOME. I TRIED TO
STAY PROFESSIONAL SO IF I GOT TOO
EMOTIONAL, I SINCERELY APOLOGIZE!

I RESPECTFULLY MUST ASK ONE QUESTION:
IF THIS PROPOSAL WAS NEXT DOOR WHERE
YOU LIVE AND YOU WERE WRITING THIS
LETTER TO ME, WHAT WOULD YOU WANT DONE?

THANK YOU AGAIN FOR YOUR INSIGHT
AND HARD WORK. IT PROBABLY
DOESN'T SEEM LIKE IT BUT
YOU ALL ARE APPRECIATED!

RESPECTFULLY & SINCERELY


PROPOSED
← HEIGHT



THIS PHOTO SHOWS ME STANDING IN
FRONT OF A 38 FOOT TALL CONDO UNIT
IN WALLA WALLA, WA.

THE LINES ADDED TO THE TOP REPRESENT
THE 48 FOOT TALL CONDO PROPOSED

EXHIBIT #2

#1

ALL ITEMS ARE SHOWN
TO SCALE

#1 - SHOWS THE PROPOSED CONDO
HEIGHT OF 48 FEET

#2 - SHOWS THE HEIGHT
OF A 6 FOOT HUMAN FIGURE

#3 - SHOWS THE HIGHEST POINT
OF MY EXISTING HOME
OF 18 FEET

LOCATED AT:
1535 24TH AVE
LEWISTON, IDAHO

#3

#2



RE: Public Hearing June 10th at 5:3

1 message

Reo <ontheredriver75@gmail.com>

Wed, Jun 3, 2026 at 10:41 AM

To: "dortiz@cityoflewiston.org" <dortiz@cityoflewiston.org>

Dear Chair and Committee Members,

My name is Renaldo Phillips, and I reside at [1537 24th Ave., Lewiston, Idaho 83501](#). I appreciate the opportunity to submit this statement regarding the proposed rezoning of Block 2 in the Darby Village Residential Subdivision.

I am writing to formally oppose the rezoning request. This proposal violates the Declaration of Protective Restrictions (Doc# 738792 attached), specifically Paragraphs 1, 2, and 3. Furthermore, Doc# 779593 (attached) contradicts the intent of the original protective document.

Regarding the impact on Paragraph 1. PURPOSE

The proposed zoning change does not use the property for attractive residential purposes, causes a nuisance by interfering with the legal protections under the covenants, impairs the attractiveness of the surrounding properties by deleting views and privacy in yards, would not maintain the tone of the community by having three towering 50' structures, reduces the property values by affecting views, privacy, traffic and expectation of legal protection and procedure by PROTECTIVE COVENANTS, does not provide for attractive, well designed Single-Family residential accommodations by nature of the proposed land use, does not integrate with adjacent residential areas, to promote a more desirable living environment by increasing foot traffic, vehicular traffic, increased water pressure challenges, and *does not secure for each lot or block owner full benefit and enjoyment of his/her home*, i.e., this statement shows, at the time, Block 2 was included in the unamended Protective Covenants, and it detracts from the attractiveness and value of the property for private residence or single-family purposes again by changing the tone of the neighborhood and subdivision which Block 2 is a part of.

Regarding the impact on Paragraph 2. DURATION

The Amendment, known as Doc# 779593 as filed, has not been approved by seventy five percent (75%) or more of the owners herein named and of the remaining property in DARBY VILLAGE RESIDENTIAL ESTATES Subdivision, their successors and all their grantees, their heirs or assigns.. The entirety of this single paragraph by single sentence protects every owner at the time of the instrument was filed from any changes to the subdivision CCR's and Reservations and every owner afterwards whether they owned at the time of filing or not and prevented minority owners from amending the PROTECTIVE COVENANTS prior to purchase and after.

Regarding the impact of Paragraph 3. BUILDING RESTRICTIONS and LIMITATIONS on ALL BUILDINGS IN THE SUBDIVISION.

The title of paragraph 3 is a statement regarding ALL buildings in the SUBDIVISION and later specifically states all Lots to protect everyone in Block 1 and Block 2

Additionally, Michelle Phillips (my wife) and I do not wish to burden the Commission with unnecessary duplicity in our comments/statements although she will be submitting a separate email which will be brief and show agreement with the my statements.

I respectfully ask of the Commission the following to ensure compatibility with our existing neighborhood:


- Deny the proposal to change the zoning of Darby Village Subdivision Block 2 and maintain the R2 zoning.


Thank you for considering my concerns and for your commitment to protecting the character and safety of our neighborhood. I am available to discuss practical solutions with city staff or the applicant.

Sincerely,

Renaldo Phillips

2 attachments

 **779593.pdf**
100K

 **738792.pdf**
1565K

Accom

779593

FIRST AMENDMENT TO THE DECLARATION OF PROTECTIVE COVENANTS, CONDITIONS AND RESTRICTIONS for:

DARBY VILLAGE RESIDENTIAL SUBDIVISION

Which is a portion of the FAIRVIEW TERRACE PUD Established 1978
DARBY VILLAGE RESIDENTIAL SUBDIVISION which is
Described on the plat as filed and recorded with the Auditors office in the
County of Nez Perce. State of Idaho, December 15th, 2006 instrument # 738792

TO THE CITY OF LEWISTON, IDAHO

- 1- The Purpose of these Amendments is to clarify an item listed within Section 4-part -B and to clarify Land East of the subdivision listed as Phase -II.
 - A- The developer has chosen to lower the minimum square footage of a house, built within the subdivision, to a minimum of 1350 square foot on one single ground floor level.
 - B- The Developer has chosen to clarify the meaning defining the property located to the East of the Darby Village Residential Subdivision, listed as Phase - II, (approx. 2.6 acres) shall in no manner be regulated or mandated by the Protective Covenants as described within the document within Phase -I of the C.C.& R's.

End of Document

KEANE LAND COMPANY CO., LLC



RICHARD A. KEANE, MEMBER

**AFTER RECORDING MAIL TO: RICK KEANE
35309 POWELL ROAD
LEWISTON IDAHO 83501**

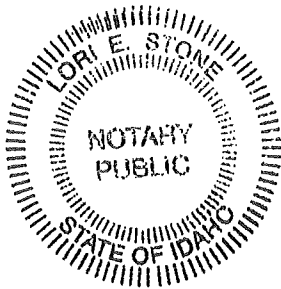
INST. NO. 779593
 FILED FOR RECORD
 FEE 6.00 REC. BY LAND-TITLE pd
 2010 APR 13 PM 4 33
 PATTY O. WEEKS
 RECORDER, NEZ PERCE CO. ID.
 BY Byjok DEPUTY

STATE OF IDAHO)
 : ss.
County of ' NEZ PERCE)

On this 9 day of APRIL, in the year
20 10, before me, a notary public in and for said state, personally appeared
RICHARD A. KEANE

_____, known or
identified to me to be the manager(s) or a member(s) of the limited liability
company that executed the instrument or the person(s) who executed the
instrument on behalf of said limited liability company and acknowledged to me
that such limited liability company executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed
my official seal the day and year in this certificate first above written.



Lori E. Stone

Notary Public in and for the State of IDAHO
Residing at CLARKSTON WA

My Commission Expires: 04-28-2012

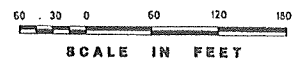
PLAT OF DARBY VILLAGE SUBDIVISION

LOCATED IN THE CITY OF LEWISTON,
SECTION 7 - S 1/2 NW 1/4 NE 1/4,
TOWNSHIP 35 NORTH, RANGE 5 WEST,
BOISE MERIDIAN, NEZ PERCE COUNTY,
IDAHO, NOVEMBER 2006

Sheet 1 of 7 CAB 72A

SHEET 1 OF 3
7

738792
CITY OF LEWISTON
RECORDS & PERMITS
DEC 15 AM 11:37
DAILY 8 WEEKS
SERIAL 2778007
Amtrak



OWNER

KEANE LAND COMPANY LLC
247 THAIN ROAD SUITE 108
LEWISTON, IDAHO 83501
PHONE: 743-5672

PLAZA
AUG. 28, 2002

HOUSTON PROFESSIONAL
INSTR. NO. 678604

TERRACE SUB.
AUG. 30, 1979
FAIRVIEW
INSTR. NO. 42841

24 TH. AVF.
INSTR. NO. 42841

BLOCK ONE
6.878 ACRES
(SEE SHEETS 2 AND 3
FOR DETAILS)

BLOCK TWO
2.693 ACRES

25-TH. AVENUE
S 89°17'00" W 1317.54'
BASIS OF BEARING

LEWISTON VINEYARD TRACT NO. ONE
INSTR. NO. 64141 JAN. 2, 1918

LEGEND

- EXISTING 17 TH STREET ROADWAY, NOT SET.
- SUBDIVISION CORNER - SET 5/8" BY 30" REBAR / CAP.
- RIGHT-OF-WAY MONUMENT - FD. 5/8" DIA. REBAR / CAP # 849.
- UTILITY EASEMENT ANGLE POINT - NOT SET.
- 1/16 SECTION CORNER - FOUND BRASS CAP.
- SUBDIVISION BOUNDARY LINE.
- BLOCK LINE.
- EASEMENT LINE.
- ROAD CENTERLINE OR EASEMENT CENTERLINE.
- INSTR. M.F. NO. 514719 UTILITY EASEMENT.

SURVEYOR'S CERTIFICATE

I, RICHARD S. MICKELSON BEING A DULY LICENSED SURVEYOR UNDER THE LAWS OF THE STATE OF IDAHO, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND PLATTED UNDER THE DIRECTION OF THE OWNER, THE LAND HEREIN DESCRIBED TO BE KNOWN AS "DARBY VILLAGE SUBDIVISION", CITY OF LEWISTON, NEZ PERCE COUNTY, STATE OF IDAHO, THAT 5/8" DIAMETER BY 30" LONG REBAR WITH P.L.S. NO. 849 PLASTIC CAPS WERE SET IN THE GROUND AS SHOWN ON THE ACCOMPANYING PLAT AND THAT SAID PLAT IS A TRUE REPRESENTATION OF SAID SURVEY. THAT THE LAND IS SITUATED IN SECTION 7, S 1/2 NW 1/4 NE 1/4, TOWNSHIP 35 NORTH, RANGE 5 WEST, BOISE MERIDIAN, NEZ PERCE COUNTY, CITY OF LEWISTON, IDAHO. SAID PARCEL CONTAINING 9.671 ACRES AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER-NORTH ONE-SIXTEENTH CORNER WHICH IS ALSO THE SOUTHWEST CORNER OF THE NW 1/4 NE 1/4 OF SAID SECTION SEVEN, A BRASS CAP MONUMENT; THENCE N 89°17'00" E ALONG THE ONE-SIXTEENTH SECTION LINE 1,105.88 FEET TO THE TRUE POINT OF BEGINNING ALSO KNOWN AS THE "INITIAL POINT", A BRASS CAP MONUMENT;

THENCE S 89°17'00" W ALONG THE ONE-SIXTEENTH SECTION LINE AND NORTH BOUNDARY FOR THE LEWISTON VINEYARDS TRACT NO. ONE 432.47 FEET TO THE EAST BOUNDARY FOR THE FAIRVIEW TERRACE SUBDIVISION;

THENCE ALONG SAID LINE N 00°23'32" W, 233.00 FEET; THENCE N 07°19'45" W 36.97 FEET TO THE SOUTH BOUNDARY FOR THE HOUSTON PROFESSIONAL PLAZA LLC; THENCE ALONG SAID LINE AND A 320.00' FOOT RADIUS CURVE LEFT, A ARC LENGTH OF 199.91 FEET, A DELTA ANGLE OF 35°47'35" THE LONG CHORD BEARS N 57°44'56" E, 196.67 FEET; THENCE N 39°51'02" E, 89.00 FEET TO A 280.00 FOOT RADIUS CURVE RIGHT; THENCE ALONG SAID CURVE A ARC LENGTH OF 195.00 FEET, A DELTA ANGLE OF 39°54'09" THE CHORD BEARS N 59°48'09" E, 191.00 FEET; THENCE N 79°45'11" E, 41.03 FEET; THENCE N 80°21'35" E, 188.88 FEET; THENCE N 89°08'53" E, 79.30 FEET TO THE WEST RIGHT-OF-WAY LINE FOR SEVENTEENTH STREET; THENCE ALONG SAID RIGHT-OF-WAY LINE S 12°15'00" E, 19.34 FEET; THENCE S 10°16'00" E, 55.67 FEET TO THE INTERSECTION WITH A 125.00 FOOT RADIUS CURVE RIGHT (THE RADIUS POINT BEARS S 43°28'23" W, 125.00 FEET); THENCE ALONG SAID CURVE A ARC LENGTH OF 35.53 FEET, DELTA ANGLE 16°17'09", THE CHORD BEARS S 10°23'20" E, 35.41 FEET; THENCE N 79°45'11" E, 37.26 FEET (RECORD DISTANCE IS 37.47 FEET PER INSTR. NO. 701529); THENCE S 15°31'00" E, 163.18 FEET TO A 345.26 FOOT RADIUS CURVE RIGHT; THENCE ALONG SAID CURVE A ARC LENGTH OF 91.99 FEET; THENCE ALONG SAID CURVE A ARC BEARS S 07°57'30" E, 90.83 FEET; THENCE S 00°24'00" E, 300.15 FEET TO THE ONE-SIXTEENTH SECTION LINE; THENCE S 89°17'00" W ALONG SAID ONE-SIXTEENTH LINE 181.88 FEET TO THE PLACE OF BEGINNING AND INITIAL POINT

Richard S. Mickelson 12/11/06
RICHARD S. MICKELSON P.L.S. NO. 849
1720 STAFFORD DRIVE
CLARKSTON, WA. 99443



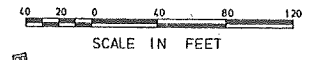
1/4 SECTION CORNER
BY BRASS CAP

1/4 SECTION CORNER
BY BRASS CAP

INITIAL POINT
BY BRASS CAP

DARBY VILLAGE SUBDIVISION

LOCATED IN THE CITY OF LEWISTON,
 SECTION 7 - S 1/2 NW 1/4 NE 1/4,
 TOWNSHIP 35 NORTH, RANGE 5 WEST,
 BOISE MERIDIAN, NEZ PERCE COUNTY,
 IDAHO, NOVEMBER
 2008



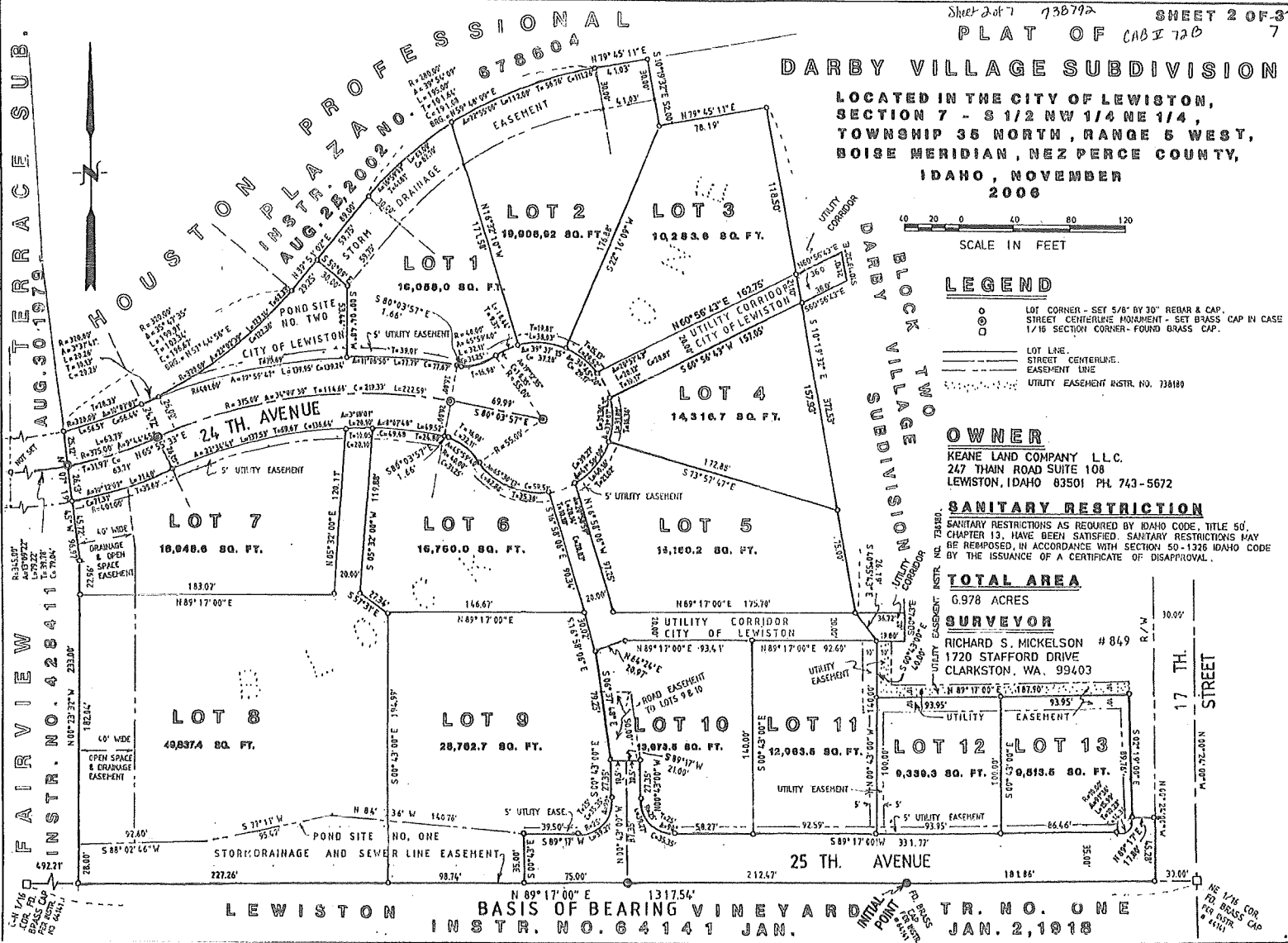
- LEGEND**
- LOT CORNER - SET 5/8" BY 30" REBAR & CAP. STREET CENTERLINE MONUMENT - SET BRASS CAP IN CASE 1/16 SECTION CORNER - FOUND BRASS CAP.
 - LOT LINE.
 - STREET CENTERLINE.
 - - - EASEMENT LINE.
 - UTILITY EASEMENT INSTR. NO. 738180

OWNER
 KEANE LAND COMPANY L.L.C.
 247 THAIN ROAD SUITE 108
 LEWISTON, IDAHO 83501 PH. 743-5672

SANITARY RESTRICTION
 SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13, HAVE BEEN SATISFIED. SANITARY RESTRICTIONS MAY BE REIMPOSED, IN ACCORDANCE WITH SECTION 50-1326 IDAHO CODE BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL.

TOTAL AREA
 6.978 ACRES

SURVEYOR
 RICHARD S. MICKELSON # 849
 1720 STAFFORD DRIVE
 CLARKSTON, WA. 99403



FAIRVIEW
 INSTR. NO. 428411
 AUG. 30 1972
 TERRACE SUB.

PLAT OF
DARBY VILLAGE SUBDIVISION

LOCATED IN THE CITY OF LEWISTON, SECTION
7 - S 1/2 NW 1/4 NE 1/4, TOWNSHIP 35 NORTH,
RANGE 5 WEST, BOISE MERIDIAN, NEZ PERCE
COUNTY, IDAHO, NOVEMBER 2006

CERTIFICATE COUNTY TREASURER

I HEREBY CERTIFY ON THIS 13th DAY OF December 2006 AS COUNTY TREASURER IN AND FOR THE COUNTY OF NEZ PERCE PER THE REQUIREMENTS OF IDAHO CODE NO. 50-1308 THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS PROPOSED SUBDIVISION HAVE BEEN PAID IN FULL.

Barbara A. Gray
COUNTY TREASURER

CERTIFICATE CITY ENGINEER

I HEREBY CERTIFY ON THIS 13th DAY OF December 2006 AS ENGINEER FOR THE CITY OF LEWISTON THAT I HAVE EXAMINED THIS PLAY AND THAT IT COMPLIES WITH THE REQUIREMENTS OF THE SUBDIVISION ORDINANCE OF THE CITY OF LEWISTON, IDAHO.

Corey L. Curtis
ENGINEER - CITY OF LEWISTON, IDAHO



CERTIFICATE CITY CLERK

I HEREBY CERTIFY ON THIS 13th DAY OF December 2006 AS CITY CLERK THAT THIS PLAT AND DEDICATIONS SHOWN HEREON HAVE BEEN APPROVED BY THE CITY COUNCIL OF LEWISTON, IDAHO AT A MEETING HELD ON THE 13th DAY OF December 2006.

Shirley Ann O'Connor
CLERK - CITY OF LEWISTON, IDAHO



CERTIFICATE CITY ATTORNEY

I HEREBY CERTIFY ON THIS 13th DAY OF December 2006 AS ATTORNEY FOR THE CITY OF LEWISTON, IDAHO THAT THE DEDICATIONS AND CERTIFICATIONS SHOWN HEREON ARE CORRECT IN FORM.

Jeffrey L. Curtis
ATTORNEY - CITY OF LEWISTON, IDAHO

CERTIFICATE NORTH CENTRAL IDAHO HEALTH DISTRICT

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13, HAVE BEEN SATISFIED. SANITARY RESTRICTIONS MAY BE REIMPOSED IN ACCORDANCE WITH SECTION PER 50-1326, IDAHO CODE BY ISSUANCE OF A CERTIFICATE OF DISAPPROVAL.

Donna M. Heath
DONOR-MENTAL HEALTH SPECIALIST
NORTH CENTRAL IDAHO HEALTH DISTRICT

DATE 12-13-06

CERTIFICATE COUNTY RECORDER

STATE OF IDAHO, COUNTY OF NEZ PERCE RECORDED AT THE REQUEST OF AT _____ MINUTES PAST _____ O'CLOCK THIS _____ DAY OF _____ 2006.

RECORDER - COUNTY OF NEZ PERCE

DEPUTY

CERTIFICATE CITY SURVEYOR

I HEREBY CERTIFY ON THIS 13th DAY OF December 2006 AS CITY SURVEYOR FOR THE CITY OF LEWISTON, IDAHO THAT I HAVE EXAMINED THIS PLAT AND THAT IT COMPLIES WITH THE REQUIREMENTS OF TITLE 50, CHAPTER 13, IDAHO CODE AND WITH THE CITY OF LEWISTON, IDAHO CODE.

David L. Hueston
SURVEYOR - CITY OF LEWISTON, IDAHO

OWNER'S CERTIFICATION AND DEDICATION'S

THIS IS TO CERTIFY THAT THE UNDERSIGNED ARE THE OWNERS IN FEE SIMPLE OF THE HEREN DESCRIBED AND PLATTED PROPERTY, DO HEREBY CERTIFY THAT WE INTEND TO SUBDIVIDE SAID PROPERTY AS INDICATED BY THIS INSTRUMENT, THEREFORE KNOW ALL PERSONS BY THESE PRESENTS THAT WE HEREBY DEDICATE TO THE CITY OF LEWISTON AS A PUBLIC STREET FOREVER THOSE STREETS AS SHOWN PLATTED HEREIN AND DEDICATE TO THE CITY OF LEWISTON FOR UTILITY PURPOSES FOREVER THOSE UTILITY CORRIDORS AND POND SITE NUMBER TWO AS SHOWN PLATTED HEREIN AND DEDICATE TO THE CITY OF LEWISTON FOR UTILITY PURPOSES THOSE EASEMENTS PLATTED HEREIN.

KEANE LAND COMPANY L.L.C. - RICHARD A. KEANE
RICHARD A. KEANE
LISA C. KEANE

ACKNOWLEDGEMENT

STATE OF IDAHO } SWORN STATEMENT
COUNTY OF NEZ PERCE }

ON THIS 13th DAY OF December IN THE YEAR OF 2006 BEFORE ME A NOTARY PUBLIC, PERSONALLY APPEARED *Richard A. Keane* KNOWN OR IDENTIFIED TO ME TO BE THE MEMBER OF THE LIMITED LIABILITY COMPANY THAT EXECUTED THE WITHIN INSTRUMENT OR THE PERSON WHO EXECUTED THE INSTRUMENT ON BEHALF OF SAID LIMITED LIABILITY COMPANY AND ACKNOWLEDGED TO ME THAT SUCH COMPANY EXECUTED THE SAME.



ACKNOWLEDGEMENT

STATE OF IDAHO } SWORN STATEMENT
COUNTY OF NEZ PERCE }

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED *Lisa C. Keane* KNOWN TO ME TO BE THE PERSONS WHO EXECUTED THE FOREGOING OWNER'S CERTIFICATE, FREE AND VOLUNTARY ACT AND DEED. IN WITNESS WHEREOF THIS 13th DAY OF December 2006, I SET MY HAND AND AFFIX MY SEAL.



DESCRIPTION BLOCK ONE

THE LAND IS SITUATED IN SECTION 7, S 1/2 NW 1/4 NE 1/4, TOWNSHIP 35 NORTH, RANGE 5 WEST, BOISE MERIDIAN, NEZ PERCE COUNTY, IDAHO, SAID PARCEL CONTAINING 6.978 ACRES AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER-NORTH ONE-SIXTEENTH CORNER WHICH IS ALSO THE SOUTH-WEST CORNER OF THE NW 1/4 NE 1/4 OF SAID SECTION SEVEN, A BRASS CAP MONUMENT, THENCE N 89° 17' 00" E ALONG THE ONE-SIXTEENTH SECTION LINE 195.68 FEET TO THE TRUE POINT OF BEGINNING ALSO KNOWN AS THE "INITIAL POINT", A BRASS CAP MONUMENT, THENCE S 89° 17' 00" W, ALONG THE ONE-SIXTEENTH SECTION LINE AND NORTH BOUNDARY FOR THE LEWISTON VINEYARDS TRACT NO. ONE 613.47 FEET TO THE EAST BOUNDARY FOR THE FAIRVIEW TERRACE SUBDIVISION. THENCE ALONG SAID LINE N 00° 23' 31" W, 233.00 FEET; THENCE N 01° 19' 45" W, 96.97 FEET TO THE SOUTH BOUNDARY FOR THE HOUSTON PROFESSIONAL PLAZA L.L.C.; THENCE ALONG SAID LINE AND A 320.00 FOOT RADIUS CURVE LEFT, AN ARC LENGTH OF 199.91 FEET, A DELTA ANGLE OF 35° 47' 35", THE LONG CHORD BEARS N 57° 44' 56" E, 116.67 FEET; THENCE N 39° 57' 02" E 89.80 FEET TO A 280.00 FOOT RADIUS CURVE RIGHT; THENCE ALONG SAID CURVE A ARC LENGTH OF 195.00 FEET A DELTA ANGLE OF 39° 54' 09", THE LONG CHORD BEARS N 59° 48' 09" E, 116.88 FEET; THENCE N 79° 45' 11" E, 41.03 FEET; THENCE LEAVING ABOVE SAID LINE S 10° 19' 31" E, 52.60 FEET; THENCE N 79° 45' 11" E, 78.19 FEET; THENCE S 10° 19' 31" E, 372.53 FEET; THENCE S 40° 59' 43" E, 26.19 FEET; THENCE S 00° 43' 00" E, 4.00 FEET; THENCE N 89° 17' 00" E, 167.90 FEET; THENCE S 02° 19' 00" E, 89.76 FEET; THENCE N 89° 17' 00" E, 17.80 FEET TO THE WEST RIGHT-OF-WAY LINE FOR 17 TH STREET; THENCE S 00° 24' 00" E ALONG SAID RIGHT-OF-WAY LINE 45.28 FEET TO THE ONE-SIXTEENTH SECTION LINE (FROM WHICH POINT THE NE 1/16 CORNER FOR SECTION 7 BEARS N 89° 17' 00" E, 30.00 FEET); THENCE S 89° 17' 00" W, ALONG SAID ONE-SIXTEENTH LINE 181.26 FEET TO THE "INITIAL POINT" AND THE PLACE OF BEGINNING.

NOTE:

SEE SHEET ONE FOR SURVEYOR'S CERTIFICATE.

DECLARATION OF PROTECTIVE RESTRICTIONS

PROTECTIVE COVENANTS for:

DARBY VILLAGE RESIDENTIAL SUBDIVISION

Which is a portion of the **FAIRVIEW TERRACE PUD** Established 1978

DARBY VILLAGE RESIDENTIAL SUBDIVISION which is

Described on the plat as filed with the Auditors office in the
County of Nez Perce. State of Idaho.

TO THE CITY OF LEWISTON, IDAHO

**ATTENTION IS DIRECTED TO THE FACT THAT HEIGHT AND
SET-BACK REQUIREMENTS APPEAR IN AN ADDENDUM WHICH IS
AN ATTACHMENT TO THE RECORDED PLAT**

1. **PURPOSE.** The purpose of these restrictions is to insure the use of the property for attractive residential purposes, to prevent nuisances, to prevent impairment of the attractiveness of the property, to maintain the desired tone of the community, to protect and preserve the value of such property, to provide attractive, well designed Single-Family residential accommodations in support of *Darby Village Residential Estates* Development Plan and integrate this with adjacent residential areas, to promote a more desirable living environment than would be possible through application of minimum zoning requirements and thereby to secure to each lot or block owner full benefit and enjoyment of his/her home with no greater restriction upon the free and undisturbed use of his/her site than is necessary to insure the same advantages to all other site owners. Anything tending to detract from the attractiveness and value of the property for private residence or single-family purposes will not be permitted.

2. **DURATION.** All covenants, conditions and restrictions and reservations herein contained shall be perpetual and shall apply to and be forever binding upon the undersigned, their heirs, executors, administrators and assigns, and all their grantees, their heirs and assigns and are imposed upon said realty as an obligation or charge against the same for the benefit of the owners herein named, and the owners of the remaining property in *DARBY VILLAGE RESIDENTIAL ESTATES* Subdivision, their successors and all their grantees, their heirs or assigns, as a general plan for the benefit of this until such time as seventy five percent (75%) [or more of the owners of the land area within said planned unit development or the portion of the planned unit development finally platted at the time] shall determine to amend or terminate any or all of the covenants, which amendment or termination shall be reduced to writing and executed by the owners of not less than seventy five percent (75%) or more of the owners of the land area within said Subdivision or the portion of the Subdivision finally platted at the time] and thereafter recorded in the office of the County Recorder of Nez Perce County, of the State of Idaho.

3. **BUILDING RESTRICTIONS and LIMITATIONS on ALL BUILDINGS IN THE SUBDIVISION.**

**THESE RESTRICTIONS APPLY TO ALL
LOTS IN THIS SUBDIVISION**

**PLEASE REFER TO THE ADDENDUM TO THE PLANNED UNIT
DEVELOPMENT AGREEMENT WHICH IS AN ATTACHMENT
TO THE RECORDED PLAT**

No structure shall be constructed, placed or maintained on any lot until the construction plans and specifications and a plan showing the location of the structure upon the lot have been approved by the City of Lewiston.

A. Any building, fence, wall, structure, trees, or plants of any kind shall conform to the requirements

of the protective covenants. Trees which are planted in subdivision, when fully matured, shall not exceed and shall be maintained not to reach more than 20 feet in height from the ground measured at the base of the tree to the top limb, to ensure and maintain views from adjoining residences.

B. All buildings, guest houses and other outbuildings incident thereto, shall be of permanent non-mobile construction, and no building constructed, placed or maintained permanently or temporarily for residential purposes on any lot shall consist in whole or in part of a house-trailer or mobile home of any type, whether or not converted to a permanent structure.

C. No garage or other outbuilding shall be erected on a lot unless and until a dwelling unit shall have been first constructed thereon, or a written contract for the construction of such dwelling unit is entered into between the owner and a responsible building contractor. Any garage or other outbuilding erected on said lot shall never be used for residential or dwelling purposes.

D. The exterior of any structure shall be completed within one (1) year of the commencement of construction. External completion shall include finished painting, stain or natural finish or a finish as so desired by the Architectural Control Committee. During the period of construction, the owner shall cause the premises to be kept free and clear of debris and waste matter and shall cause all of such debris and waste matter to be disposed of in a proper manner so that the same imposes no interference or detraction to adjoining property and shall employ reasonable efforts to maintain dust control. As soon as construction is completed and weather conditions permit, each purchaser, or his successors or assigns, shall landscape, seed and plant the lot or lots upon which he has built and shall thereafter maintain the grass and planting areas in a condition equal and comparable to that prevailing within the occupied portion of this Subdivision. These restrictions shall include the reconstruction of damaged structures as well as additions to existing structures.

E. No incinerator for trash disposal shall be permitted on the property. All containers for garbage or other waste shall be kept in a sanitary condition and shall be enclosed so they are not visible or obnoxious to adjoining properties. No portion of such property shall be used or maintained as a dumping ground for waste material.

F. All property upon which dwellings are constructed shall at all times be kept in a clean, sightly, orderly condition, and no trash, garbage, litter, debris, machinery, implements, lumber or other building materials, shall be permitted to be or remain exposed on any property visible from any street or adjoining or nearby premises. No owner shall permit any camper, boat, trailer, recreational, broken-down vehicles, or other vehicle to be stored upon his property without the same being screened by a suitable structure from view from adjacent streets or premises.

G. No signs of any kind shall be displayed to public view on any portion of said property except there may be one sign displayed by builders, realtors or owners for the purpose of advertising the property for sale or rent.

H. No animals, livestock or poultry of any kind shall be placed, kept or maintained on any residential lot, except that dogs, cats or other domestic household pets may be kept ; provided they are not kept, bred, or maintained for any commercial purposes and provided that the pets may not be permitted to run unattended. All kennels constructed for pets shall be maintained in a clean and sanitary condition.

I. All utilities to structures upon subdivision lots shall be placed underground.

J. No lot within this Subdivision shall be subdivided into a smaller lot or re-conveyed in less than the original dimensions thereof as shown by the recorded plat.

K. All structures built within in the Darby Village Residential Subdivision, shall be subject to an established Architectural Control Committee consisting of the Primary developer of this subdivision for review of architectural renditions of a residence to be constructed within this sub-division. The committee shall receive and review the plans and determine if said plans conform to the desired aesthetics of Darby

Subdivision. Committee shall be entitled to review plans for a period of not more than 60 days and give written notice as to acceptance or denial, or of minor or major changes needed of said plans.

4. BUILDING RESTRICTIONS and LIMITATIONS on SINGLE-FAMILY BUILDINGS.

No structure shall be constructed, placed or maintained on any SINGLE FAMILY lot until the construction plans and specifications and a plan showing the location of the structure upon the lot have been approved by the City of Lewiston.

A. Any fences or walls shall conform with the decor and appearance of the neighborhood and shall conform with city code requirements and, in addition thereto, all structures, trees, or plants of any kind shall conform to the height restrictions of the Subdivision Agreement.

B. No single family dwelling shall be constructed or maintained on any such lot unless the enclosed ground floor area thereof shall have a ground floor of at least 1,800 square feet, unless the same is constructed with a daylight basement, in which latter case the ground floor area may be a minimum of 1,200 square feet. Said square footage shall include the walls proper of the dwelling, exclusive however, of any porches, pagodas, patios, courts, and attached garages. All residences shall have at least a double car attached garage to the residential dwelling.

C. Garages will be provided for all automobiles, pick-ups and trucks.

5. REMEDIES. If a property owner, or their heirs or assigns or their grantees, heirs or assigns, shall violate any of said restrictions and conditions herein contained, it shall be lawful for any other person or persons owning any of said real property within said Subdivision to bring proper action to enjoin or restrain said violations or to collect damages on account thereof. The owners, however, shall not be obligated to enforce any of the terms of this instrument, and all conveyances or deeds for lots within this Subdivision shall be subject to and make reference to the covenants herein contained and all covenants and restrictions herein contained are attached to the above described lands and shall run with the title thereto.

6. SEVERABILITY. Any determination by any court of competent jurisdiction that any provision in this instrument is invalid or unenforceable shall not affect the validity or the enforceability of the remaining provisions of this instrument and the same shall remain in full force and effect.

7. WAIVER OR ABANDONMENT. The failure to enforce any breach or violation of any of the provisions of this instrument shall not constitute an abandonment or waiver of any right to enforce such provisions or any such subsequent breach or violation of such provision or of any of the other covenants herein above set forth.

8. RUNNING WITH THE LAND. These covenants shall run with the land and shall be a burden upon each lot in this Subdivision and are for the exclusive benefit and protection of the property owners with the premises described in this Subdivision.

In order to maintain a view corridor for all lots within Darby Village Residential Subdivision, the height limitations or special conditions set Out below will be enforced by the City of Lewiston Planning and Zoning Department and/or the developer or Architectural Control Committee. The height shall be measured from the highest point of the adjacent curb of their lot to the highest point of the proposed dwelling. This relationship must be shown on the construction drawings submitted to the City of Lewiston as required for a building permit and certified by a licensed engineer or surveyor. Special considerations are also detailed below for two lots to allow for extra inside storage on their lot. Should there be a discrepancy as to any of these restrictions, an appeal may be submitted to the architectural control committee for review and to achieve an amendment to these restrictions.

- A. The maximum building height for Lot No. 1 shall not exceed 18' 0" above the highest point curb-line on the frontage of said lot.
- B. The maximum building height for Lot No. 2 shall not exceed 16' 0" above the highest point curb-line on the frontage of said lot.
- C. The maximum building height for Lot No. 3 shall not exceed 25' 0" above the highest point curb-line on the frontage or access of said lot.
- D. The maximum building height for Lot No. 4 shall not exceed 24' 0" above the highest point curb-line on the frontage or access of said lot.
- E. The maximum building height for Lot No. 5 shall not exceed 20' 0" above the highest point curb-line on the frontage or access of said lot.
- F. The maximum building height for Lot No. 6 shall not exceed 30' 0" above the highest point curb-line on the frontage or access of said lot.
- G. The maximum building height for Lot No. 7 shall not exceed 25' 0" above the highest point curb-line on the frontage or access of said lot.
- H. The maximum building height for Lot No. 8 shall not exceed 40' 0" above the highest point curb-line on the frontage or access of said lot. Lot 8 shall also be entitled to construct an outbuilding not to exceed more than 2,000 sq. ft. in gross area. Said outbuilding shall be constructed to meet the aesthetics of other structures on said lot and shall conform to the same requirements of Darby Village Residential Subdivision.
- I. The maximum building height for Lot No. 9 shall not exceed 40' 0" above the highest point curb-line on the frontage or access of said lot. Lot 9 shall also be entitled to construct an outbuilding not to exceed more than 2,000 sq. ft. in gross area. Said outbuilding shall be constructed to meet the aesthetics of other structures on said lot and shall conform to the same requirements of Darby Village Residential Subdivision.
- J. The maximum building height for Lot No. 10, 11, 12, & 13 shall not exceed 35' 0" above the highest point curb-line on the frontage or access of said lot.

SET-BACK REQUIREMENTS:

- J. There shall be a minimum set back of 20 feet from the front property line for buildings. All buildings shall have a minimum side yard set back of 10 feet. All buildings shall have a minimum rear set back of 20 feet.

No lot within this Subdivision shall be subdivided into a smaller lot or re-conveyed in less than the original dimensions thereof as shown by the recorded plat.

(Note: Water and Sewer equity buy-in fees, and water meter costs shall be borne by the purchaser of each individual lot and shall be paid to the community development dept. at time of purchasing their building permit. Each lot owner will be required to install sidewalks, fronting their property, at their own expense as required by the Community Development Department.)

End of Document

Corinna Williams
1533 24th Ave.
Lewiston, ID 83501
cwilliamsbsw@gmail.com
907-321-4011

June 3, 2026

City of Lewiston
Planning & Zoning Commission
215 D Street
Lewiston, ID 83501

**SUBJECT: Objection to rezoning application for Millennium Development Group, LLC Lewiston, ID 83501
Changing Zone from R-2 TO R-4.**

Dear Members of the Planning and Zoning Commission:

I write to formally object to “amend the current R2 residential designation within the PUD to an R4 residential designation” Fairview Terrace PUD – Darby Village Subdivision – Block 2. This proposed change is incompatible with the present surrounding neighborhood and contrary to the principles of sound zoning management.

I oppose this rezoning for the following reasons:

Incompatible Density and Character: R-2 zoning is designed for low-density single and family homes. I moved here very content with the R-2 zoning. I have great views and enjoy living on a closed cul-de-sac. The proposed change to a R-4 designation allowing for high-intensity, multi-family units would drastically alter the character of our established neighborhood, which relies on R-2 zoning to preserve the lower-density feel of the area. This R-2 zoning was accepted by Mr. Keane in his development of this area. He was meticulous that he had the “Declaration of Protective Restrictions – Protective Covenants for: Darby Village Residential Subdivision.” Each one of the owners here have gotten a copy of this Protective Covenants. I would like to highlight the purpose when he developed the Darby Village Residential Subdivision:

“The purpose of these restrictions is to insure the use of the property for attractive residential purposes, to prevent nuisances, to prevent impairment of the attractiveness of the property, to maintain the desired tone of the community, to protect and preserve the value of such property, to provide attractive, well designed Single-Family residential accommodations in support of Darby Village Residential Estate Development Plan . . . to promote a more desirable living environment . . .secure to each lot or block owner full benefit and enjoyment of his/her home with no greater restriction upon the free and undisturbed use of his/her site than is necessary to insure the same advantages to all other site owners. Anything tending to detract from the attractiveness and value of the property for private residence or single-family purposes will not be permitted”.

Mr Keane’s Millennium Development some how has forgotten this and I understand that he has come to the city and told them that his property is not held to these Protective Restrictions. I’m sorry; but, according to Plat of Darby Village Subdivision – his property is part of the Darby Village Subdivision. On Sections 3 – Building Restrictions and Limitations on all building in the subdivision. THESE RESTRICTIONS APPLY TO ALL LOTS IN THIS SUBDIVISION. I know the city can’t enforce these “Protective Restrictions”; but, I would like you to see what the spirit of this development has been over the many years as formed by Mr. Keane. I take great issue of any developer trying to change requirements to his benefit, with no regard to the already set precedent within the community (that he has put restrictions on this community).

“Secure to each lot or block owner full benefit and enjoyment of his/her home with no greater restriction upon the free and undisturbed use of his/her site”.

By allowing these (3) Residential building/48 dwelling units – 4 stories (that 49 feet) – will change the total look and flow of this area. Many of the owners in this Darby Subdivision will lose any sense of privacy and block the views enjoyed by many of the home owners. This building will be looming over our neighbor. It does not blend in to the landscape already established here.

Traffic and Congestion: Most homes have 2 vehicles – that is approximately 96 cars for this development. This will introduce unsafe traffic levels, resulting in serious congestion on 17th. It is very unsafe to pull out into traffic from 23rd and 25th Ave. One of the residents on 24th Avenue almost died when she was trying to pull out in traffic on 17th St from 23rd Ave. Between the slight curve, two lanes coming up the hill, and vegetation that block the driver’s view – this is very dangerous. Not to mention a possible fire issue – with an emergency vehicles have to deal with people leaving when there’s a fire and the fire vehicles not being able to get in to the development on that one small driveway.

48 residential units – the issue with this is the Millennium Development has nothing planned for families. Where are the children suppose to play? On 17th street? This property has a bit of land facing the north and butts up to my property and my neighbors, so are the children to play in that area? What about the city right-aways between my neighbors that come out to the closed cul-de-sac at 24th Ave.

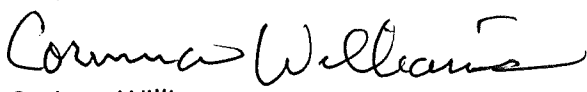
Strain on Infrastructure: There is already an issue with low water pressure and many of us have water boosters. I’m concerned that high-density development will exceed the capacity of this infrastructure and potentially lower our property values. Really, who wants to buy next to (3) 4 -story building, where anyone can look down into their private yard? Yes, property values will drop.

Comprehensive Plan Consistency: The proposed R-4 change is inconsistent with the goals and objectives outlined in the Envision Lewiston 2044 Comprehensive Plan, which seeks to protect and maintain stable, low-density residential neighborhoods. The R-2 classification is intended to protect the quality of life and general welfare of current residents. The City of Lewiston is looking for AFFORDABLE house option for all people, this development is not affordable to families.

I’m also very concerned about the underground parking lot. We are on basalt rock. Basalt exhibits significant compressive strength. Strict safety protocols must be followed to manage ground vibrations. Unfortunately, any blasting can result in foundation issues that might not be realized until much later for those of us closest to this project.

I respectfully request that the Planning & Zoning Commission recommend denial of this application to the City Council, and that the City Council reject this rezoning request. Thank you for your time, consideration, and dedication to preserving the livability of Lewiston and the Darby Village Subdivision.

Respectfully Submitted,



Corinna Williams

Fairview Terrace PUD-Darby Village Subdivision-Block 2 Lewiston, ID

RE: Public Comment and Formal Objection to the Rezoning Application by Millennium Development Group, LLC (R-2 to R-4)

Dear Chairperson and Members of the Planning & Zoning Commission,

I am writing as a local resident to formally object to the rezoning application submitted by Millennium Development Group, LLC. The applicant requests a zoning map amendment to change the designation of the subject property from Low Density Residential (R-2) to High Density Residential (R-4).

I request that this letter be entered into the official public record for the upcoming public hearing and distributed to all commission members for their review.

I oppose this change for several critical reasons:

- **Incompatible Neighborhood Character:** The surrounding area is established as a quiet, low-density neighborhood. Introducing high-density R-4 structures will disrupt the existing architectural scale and diminish the character of our community.
- **Traffic and Safety Concerns:** Our existing street infrastructure is not designed to handle the high volume of traffic generated by an R-4 multi-family development. This increase will create safety hazards for local pedestrians, cyclists, and children.
- **Infrastructure Strain:** The current water, sewer, and stormwater systems in this area lack the capacity to support high-density housing without degrading services for existing residents.
- **Diminished Property Values:** The abrupt transition from R-2 to R-4 will negatively impact the privacy, natural light, and overall property values of the surrounding single-family homes.

The Lewiston Comprehensive Plan emphasizes orderly growth that preserves the integrity of established neighborhoods. Approving this R-4 rezone contradicts those guidelines and sets a damaging precedent for spot zoning.

Thank you for your time, consideration, and dedication to protecting the future of Lewiston's neighborhoods. I urge the Commission to deny this rezoning request.

Sincerely,

Dave Neely

Dave & Tina Neely
1536 24th Ave.
Lewiston, ID 83501
208-553-6019