



**Lewiston Historic Preservation Commission
REGULAR MEETING AGENDA
September 7, 2023 - 10:00 AM
Bell Building – Second Floor Conference Room – 215 D Street
Lewiston, Idaho 83501**

Seating will be available on a first-come, first-served basis. All others who wish to observe this meeting may watch and listen to the livestream on their own device(s) by visiting the City of Lewiston's website at cityoflewiston.org.

I. CALL TO ORDER

II. CITIZEN COMMENTS

III. NEW BUSINESS

- A. APPROVAL OF MINUTES, AUGUST 3, 2023 REGULAR MEETING (ACTION ITEM)
- B. CERTIFICATE OF APPROPRIATENESS, WEST END HISTORIC DISTRICT. AN APPLICATION BY KEVIN MESSICK OF K&G CONSTRUCTION FOR A NEW BUILDING ADDITION AND EXTERIOR REMODEL AT 625 D STREET. APPLICANT REQUESTS A CERTIFICATE OF APPROPRIATENESS TO CONSTRUCT A TWO STORY BUILDING ADDITION AND REMODEL THE EXTERIOR OF THE EXISTING BUILDING. (ACTION ITEM)
- C. CERTIFICATE OF APPROPRIATENESS, NORMAL HILL HERITAGE OVERLAY ZONE. AN APPLICATION BY EDIFICARE CONSTRUCTION ON BEHALF OF CRAIG & ANNE MARIE EMERSON AT 222 N. PROSPECT BLVD. APPLICANT REQUESTS A CERTIFICATE OF APPROPRIATENESS TO REMOVE AN EXISTING PORTE COCHERE AND REPLACE IT WITH A SECOND STORY DECK. (ACTION ITEM)

IV. OLD BUSINESS

- A. PRIORITIES PLAN DISCUSSION AND UPDATE (ACTION ITEM)

V. COMMISSIONER COMMENTS

VI. STAFF COMMENTS

- A. QUERY OF COMMISSIONERS TO ATTEND THE NEXT REGULARLY SCHEDULED MEETING OF OCTOBER 5, 2023.: - Action Item ()
- B. COMPREHENSIVE PLAN PHASE 2 SURVEY: - Action Item ()

VII. ADJOURNMENT

The City of Lewiston is committed to providing access and reasonable accommodation in its services, programs, and activities and encourages qualified persons with disabilities to participate. If you anticipate needing any type of accommodation or have questions about the physical access provided at this meeting, please contact Assistant Planner Katie Hollingshead at least forty-eight (48) hours in advance of the meeting at 208-746-1318, ext. 7261.

August 3, 2023

The HISTORIC PRESERVATION COMMISSION met in the Bell Building Upstairs Conference Room at 215 “D” Street. Chair Follett called the meeting to order at 10:00 a.m.

Historic Preservation meetings are recorded live. To view the full video, go to <https://livestream.com/lewiston> and select City Events/Miscellaneous Events.

I. CALL TO ORDER

COMMISSIONERS PRESENT: Greg Follett, Chair; Ed King, Vice Chair; Laurinda Riggs (@ 10:09 am); Lisa Hasenoehrl; Leah Boots;

COMMISSIONERS EXCUSED: Dennis Ohrtman; Kayleigh Philippi;

STAFF MEMBERS PRESENT: Katie Hollingshead, Assistant Planner; Aaron Butler, IT;

CITY COUNCIL LIAISON PRESENT: None

GUESTS: None

II. CITIZEN COMMENTS

None.

III. NEW BUSINESS

1. APPROVAL OF JUNE 1, 2023 REGULAR MEETING MINUTES

Commissioners King and Boots moved and seconded, respectively, to approve the June 1, 2023 Regular meeting minutes. The motion passed 4-0 (Commissioner Riggs arrived after the vote).

2. APPROVAL OF JUNE 12, 2023 SPECIAL MEETING MINUTES:

Commissioners Hasenoehrl and Boots moved and seconded, respectively, to approve the June 12, 2023 Special meeting minutes. The motion passed 4-0 (Commissioner Riggs arrived after the vote).

3. CERTIFICATE OF APPROPRIATENESS, WEST END HISTORIC DISTRICT. AN APPLICATION BY BOB JACKSON AUTO BODY REPAIR AT 856 F STREET TO REFRAME BROKEN WONDOW FRAME OPENINGS AND REPLACE

DAMAGED GLASS WITH NEW WINDOWS OF A SMALL SIZE AND BETER ENERGY EFFICIENCY.

Staff Hollingshead reviewed the application for the Commission.

Chair Follett walked the Commission through the Design Guidelines review sheet for the project. The Commission found that the project complied with Design Guidelines E-1 and E-3 and that all other guidelines were not applicable to the project. Commissioner King moved that the Certificate of Appropriateness for the reframe and replacement of broken windows at 856 F Street, be approved. Commissioner Riggs provided the second. Motion passed 5-0.

IV. OLD BUSINESS**1. PRIORITIES PLAN DISCUSSION AND UPDATE:**

Staff Hollingshead reviewed for the Commission the existing Priorities Plan in list format and the more verbose version from the Historic Preservation Plan. The Commission discussed different projects they might want to pursue and directed staff to bring an updated version of the Priorities Plan to the September meeting.

V. COMMISSIONER COMMENTS:

None.

VI. STAFF-COMMISSION COMMUNICATIONS:

Staff Hollingshead let the Commission know a new Commissioner application had been received and an interview conducted. The new Commissioner, Tamara Berlik is scheduled to be reviewed for appointment by City Council on August 7, 2023 and hopefully will be joining the Commission at the September meeting. This leaves one seat remaining on the Commission. Staff Hollingshead also let the Commission know she would bring a recap of all Certificates of Appropriateness issued over the last 18 months for the Commission to review in preparation for the 2024 Orchid Awards.

VII. ADJOURN

There being no further business, Commissioners King and Riggs moved and seconded, respectively to adjourn the meeting of the Historic Preservation Commission at approximately 10:59 a.m. Motion passed 5-0.

RESPECTFULLY SUBMITTED,

Katie Hollingshead
Recording Secretary

Chairperson or Acting Chairperson
Historic Preservation Commission

Approved this _____ day of _____, 2023.

Lewiston Historic District

Application for Certificate of Appropriateness

Applicant Name: Kevin Messick 625 D Street Lewiston, Id. 83501	Property Owner Name & Address: Kevin Messick, K&G Construction 625 D Street Lewiston, Id. 83501	HPC Review Date: 9.7.2023 LHD# HPC23-000013
Historic District Address: 625 D Street Lewiston, Id. 83501		
Applicant Contact Details: email: kmessick@kandgconstructionllc.com Phone: 208-553-4405 Fax: 208-416-6727 Address (If not the same as above):		
Description of Work: (Please provide any drawings, photographs or other information that can describe the exterior work being conducted) New addition and remodel of existing elevations.		
Project Start Date: ASAP	WCF Review Y / N	Estimated Project Value: TBD
Proposed Use: COMMERCIAL OR RESIDENTIAL		
Will you be using a Contractor: ☒ Y / N Name & Contact Details of Contractor(s): Kevin Messick, K&G Construction 625 D Street Lewiston, Id. 83501		
Signature of Applicant: 	Date: 8/22/03	
Name of Staff Person Receiving Application:		Date:
Staff Comments: (Please clip all documents to this application)		

* No Fees are required for this application, but there maybe fees associated with building permits or other.



HISTORIC DISTRICT CERTIFICATE OF APPROPRIATENESS PROJECT CHECKLIST GUIDELINE

In order for the Historic Preservation Commission to review a proposed project in a timely manner, applications must be complete and thorough. The following checklist will assist applicants in providing the required supplemental materials to be submitted with the application for various project elements. City Staff will assist in determining required information and drawings that must be included.

Failure to submit required items may result in a project review being delayed or denied.

1. All Projects

- ☒ Completed Application Form
- ☒ Photographs of existing conditions (digital preferred)
 - Photographs from any/all public right-of-ways (streets, sidewalks, trails, et cetera)
 - Photographs of elements to be modified
- ☐ Historic photographs/images (if any)
- ☐ If not applicable please check

X

2. Masonry

- ☒ Proposed brick pattern (Existing - to be painted)
- ☐ Color, locations, and joint profile for mortar repairs
- ☐ Brand/type of mortar to be used (cut sheets)
- ☐ Cleaning methods proposed (including any chemicals to be used)
- ☐ If not applicable please check

3. Siding

- ☒ Photographs and description of existing siding materials
- ☒ Brand/type of siding proposed (cut sheets)
- ☒ Color(s) proposed
- ☐ If not applicable please check

4. Painting

- ☒ Colors to be used (chips with brand name, color numbers)
- ☒ Locations of specific colors
- ☐ If not applicable please check

5. Windows/Doors

- ☒ Windows / doors to be installed / replaced, their existing conditions
- ☐ Manufacturer's cut sheets, with measurements
- ☐ Information on pane / panel configuration
- ☐ Material of new windows / doors
- ☐ Exterior hardware (if any)
- ☒ Design, materials, colors of any trim
- ☐ If not applicable please check

6. Roofing

- ☐ Materials, colors of roofing to be replaced, its existing condition

- ☒ Materials, colors of proposed new roofing
- ☒ Manufacturer's cut sheet(s)
- ☐ Sample of material(s)
- ☐ If not applicable please check

7. Ornamentation (porches, awnings, light fixtures, decorative trim, skirting, et cetera)

- ☒ Location(s) of proposed work
- ☒ Information on proposed modifications
- ☐ Manufacturer's information / cut sheets for materials
- ☐ Colors to be used (chips with brand name, color numbers)
- ☐ If not applicable please check

8. Storefronts

- ☐ To-scale drawings of proposed design, with measurements
- ☐ Information on materials, colors to be used
- ☐ Information on proposed windows / doors
- ☒ If not applicable please check

9. Signage / Awnings

- ☒ To-scale, color drawings of the proposed sign(s) / awnings(s)
- ☒ To-scale drawings / photograph showing proposed location of the sign(s) / awning(s) on the structure / site
- ☐ Information on proposed illumination (if any)
- ☐ Information on materials to be used
- ☐ If not applicable please check

10. Additions / New Construction

- ☒ To-scale site plans, showing the existing structure, the proposed addition, the parcel lines, and the outline of any structure within 20ft of the parcel lines
- ☒ To-scale drawings showing proposed work in relation to existing conditions, with measurements
- ☒ To-scale elevations showing proposed final design
- ☒ Description of materials and colors to be used
- ☐ If not applicable please check

11. Site Features (parking lots fences, walls, decks, sheds, garages, et cetera)

- ☐ To-scale site plans, showing the existing structure, the proposed feature(s), the parcel lines, and the outline of any structure within 20ft of the parcel lines
- ☐ Manufacturer's information/cut sheets for materials
- ☐ Information on the design, materials, colors of proposed feature(s)
- ☒ If not applicable please check

12. Demolition

- ☐ Documentation of current condition of the structure
- ☐ Plans for future / intended use of the site
- ☒ If not applicable please check

NOTICE OF CONSIDERATION OF APPLICATION For Certificate of Appropriateness in the West End Historic District by the Historic Preservation Commission

**THURSDAY, *SEPTEMBER 7, 2023 at 10:00 A.M.*
COMMUNITY DEVELOPMENT DEPARTMENT BUILDING
2ND FLOOR MEETING ROOM,
215 D STREET LEWISTON, ID 83501**

Seating will be available on a first-come, first-served basis. All others who wish to observe this meeting may watch and listen to the livestream on their own device(s) by visiting the City of Lewiston's Youtube channel or the City's website at cityoflewiston.org.

Comments for the application may be made: in-person, by emailing Katie Hollingshead at khollingshead@cityoflewiston.org, or by calling (208)746-1318 ext 7261 and leaving a message.

This consideration of application will be to determine approval or denial of the following request:

APPLICATION BY KEVIN MESSICK OF K&G CONSTRUCTION FOR A NEW BUILDING ADDITION AND EXTERIOR REMODEL AT 625 D STREET, IN THE WEST END HISTORIC DISTRICT: Applicant requests a Certificate of Appropriateness to construct a two story building addition and remodel the exterior of the existing building, in the West End Historic District, per Lewiston City Code 19.5-11.

Any person (or persons) may support or oppose, by petition or letter, the Applicant's request.
Persons receiving this notice are encouraged to provide comment.

FOR FURTHER INFORMATION AND TO SUBMIT COMMENTS, contact the Community Development Department at (208) 746-1318, ext. 7261

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OWNER1	OWNER2	MAIL_ADD1	MAIL_CITY	MAIL_ST	MAIL_ZIP	SITE_ADD
ALEXANDER INVESTORS LLC		504 MAIN ST STE 111	LEWISTON	ID	83501	609 MAIN ST
HOWELL DAVID C		PO BOX 1903	LEWISTON	ID	83501	805 D ST
JCW PROPERTIES LLC		625 D ST	LEWISTON	ID	83501	625 D ST
LIBERTY THEATRE PRESERVATION	ALLIANCE INC	PO BOX 1823	LEWISTON	ID	83501	611 MAIN ST
BOYER THOMAS R		717 D ST	LEWISTON	ID	83501	717 D ST
STEDMAN KIRK W		3032 ECHO HILLS DR	LEWISTON	ID	83501	225 7TH ST
TRIBUNE PUBLISHING CO		P O BOX 957	LEWISTON	ID	83501	509 CAPITAL ST
RIDINGER MICHAEL C &	RIDINGER JESSICA L	519 MAIN ST	LEWISTON	ID	83501	519 MAIN ST
DTL PARKING LLC		784 S CLEARWATER LOOP STE B	POST FALLS	ID	83854	
ALEXANDER INVESTORS LLC		504 MAIN ST STE 111	LEWISTON	ID	83501	621 MAIN ST
WASHINGTON WATER POWER CO		1411 MISSION	SPOKANE	WA	99202	803 MAIN ST
ALEXANDER INVESTORS LLC		504 MAIN ST STE 111	LEWISTON	ID	83501	623 MAIN ST
HAPPY DAY CORP		703 MAIN ST	LEWISTON	ID	83501	703 MAIN ST
BLEWETT INVESTMENTS LLC		3170 S SUGAR BUSH AVE	EAGLE	ID	83616	
BRIER BUILDING LLC		2265 116TH AVE NE STE 110	BELLEVUE	WA	98004	631 MAIN ST
TRIBUNE PUBLISHING CO		P O BOX 957	LEWISTON	ID	83501	607 CAPITAL ST
TRIBUNE PUBLISHING COMPANY		P O BOX 957	LEWISTON	ID	83501	523 D ST
HOWELL DAVID C		P O BOX 1903	LEWISTON	ID	83501	803 D ST
BRIER BUILDING LLC		301 S MAIN ST STE 202	MOSCOW	ID	83843	633 MAIN ST
FOLLETT MICHAEL G &	FOLLETT THERA K	3820 COUNTRY CLUB DR	LEWISTON	ID	83501	714 D ST





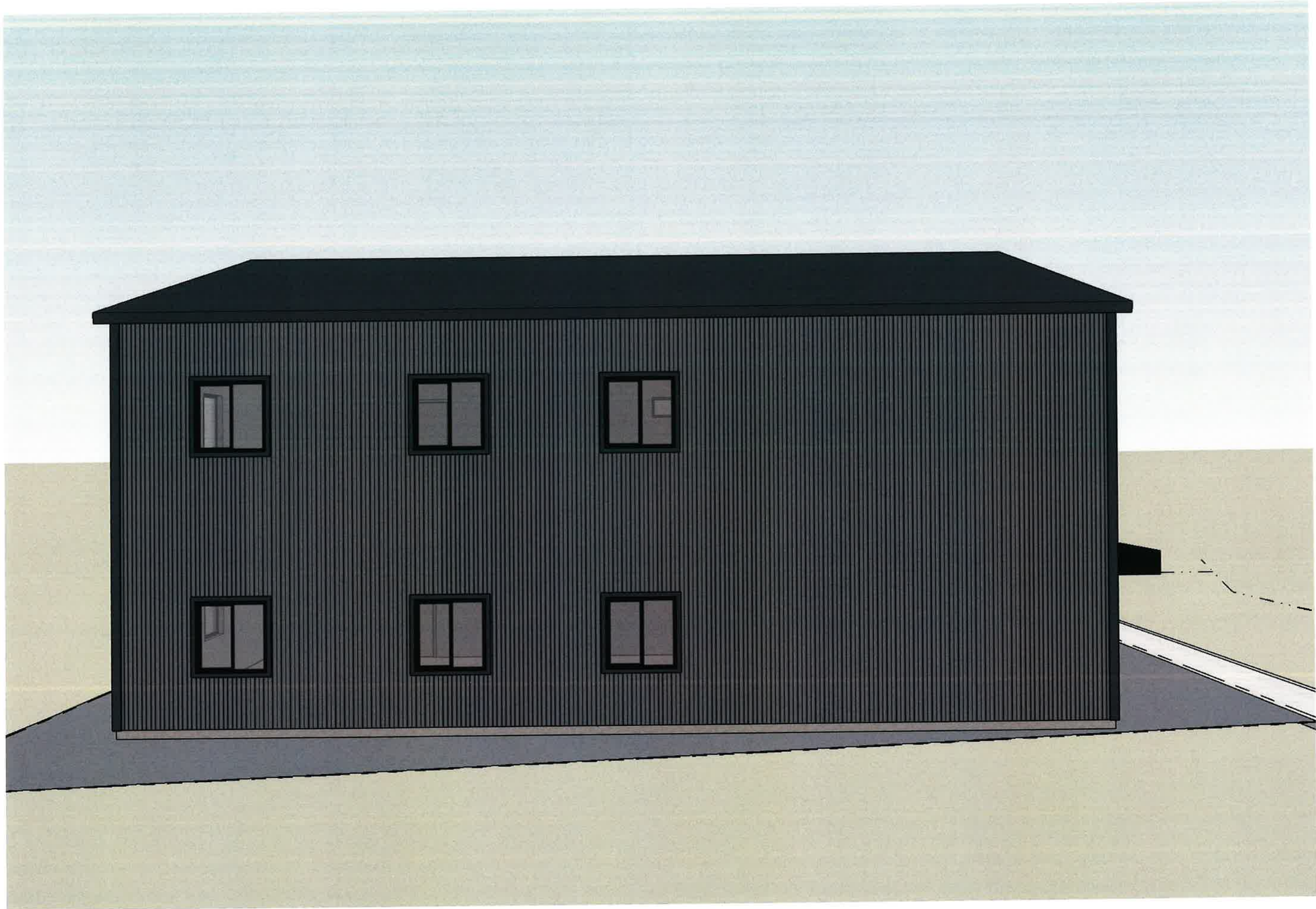
South Elevation

K&G Office Addition
 625 D Street
 Lewiston, Idaho



CLEVER FOX ARCHITECTURE
 0201 1st Street Studio B
 Lewiston, Idaho 83501
 Tel: 509.552.3463

A.01

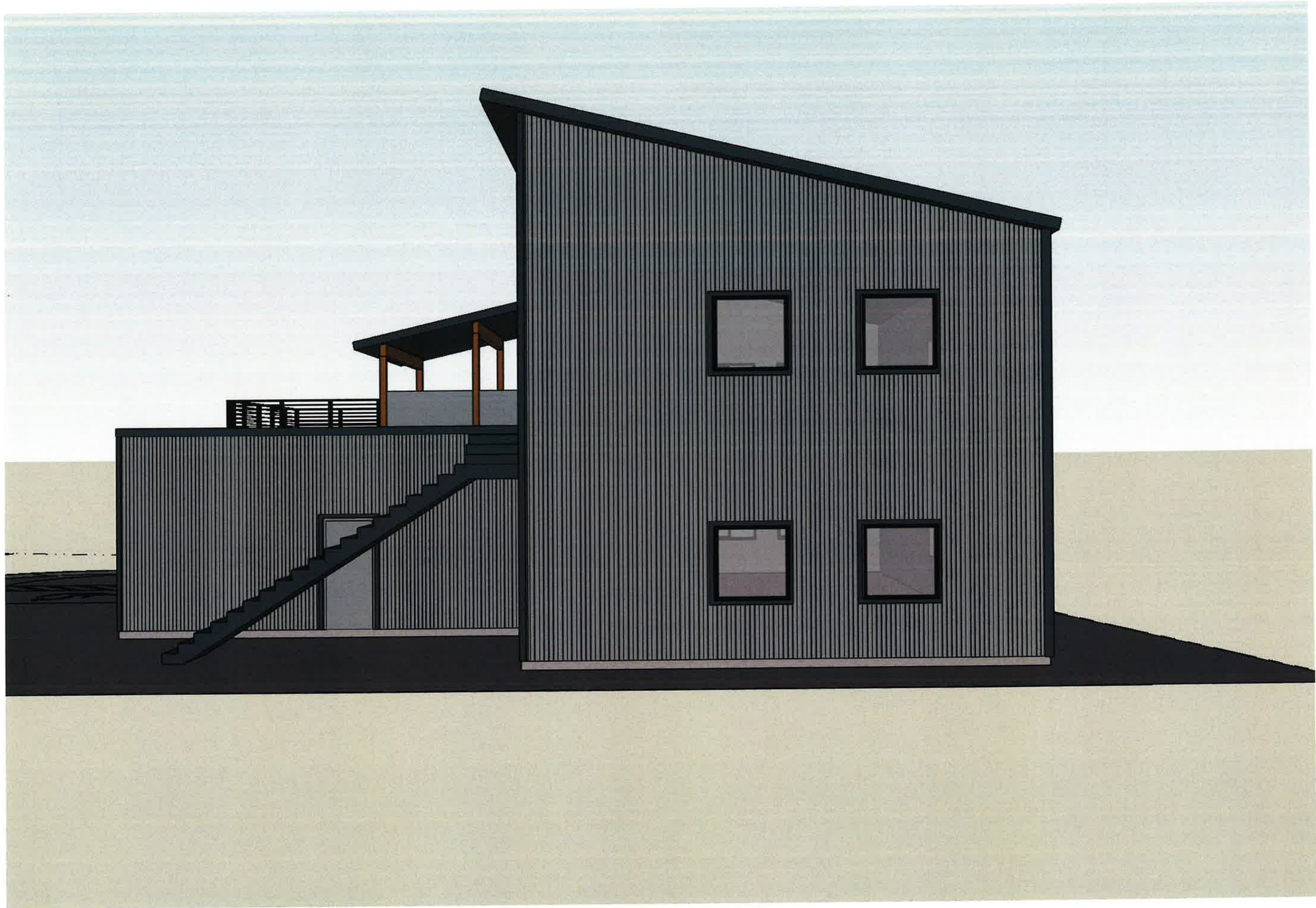


West Elevation

K&G Office Addition
625 D Street
Lewiston, Idaho



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0201 1st Street Studio B
Lewiston, Idaho 83501
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North Elevation

K&G Office Addition
625 D Street
Lewiston, Idaho



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A.03



North Elevation

K&G Office Addition
625 D Street
Lewiston, Idaho



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A.04



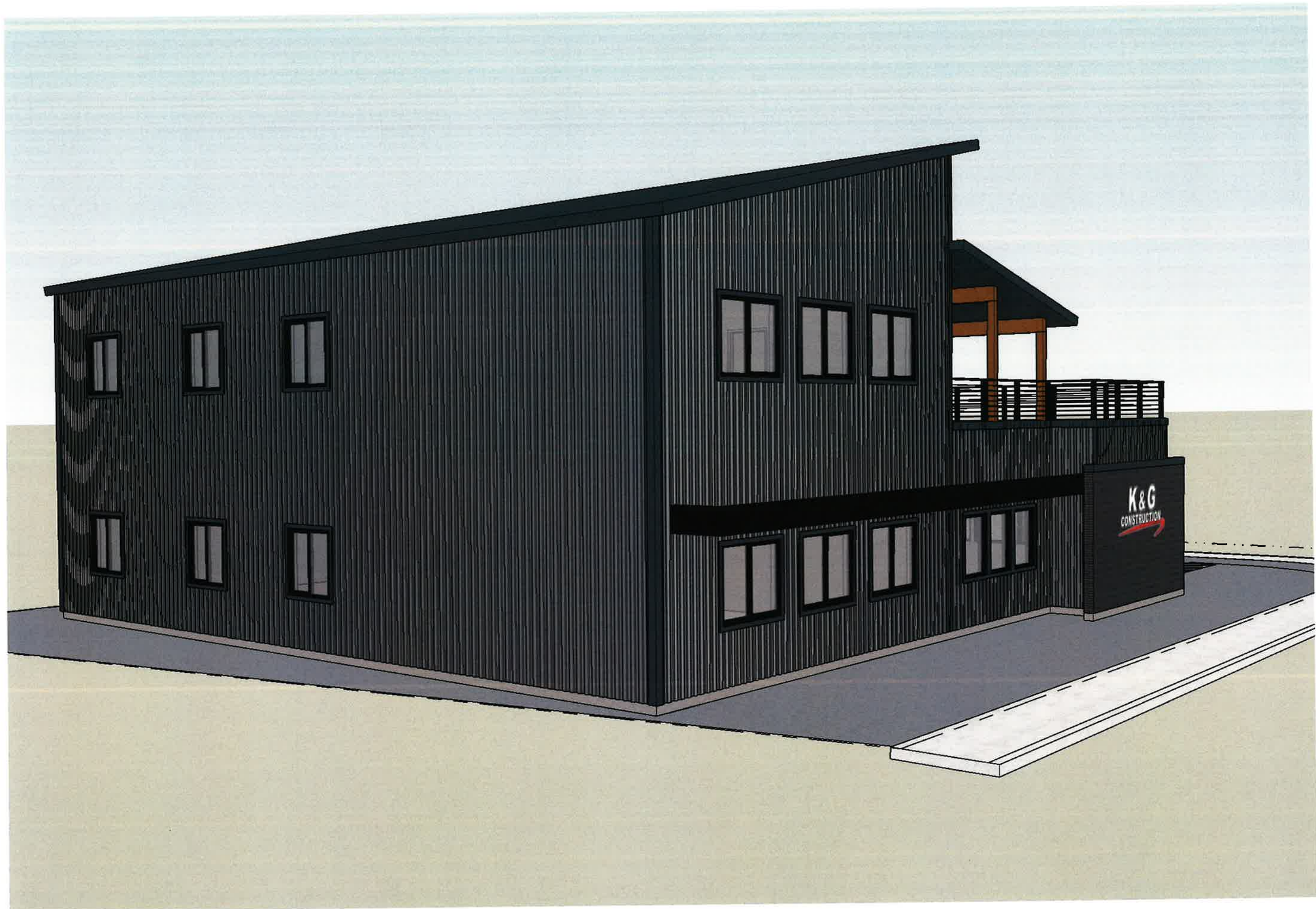
Southeast Elevation

K&G Office Addition
625 D Street
Lewiston, Idaho



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Lewiston, Idaho 83501
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A.05



Southwest Elevation

K&G Office Addition
 625 D Street
 Lewiston, Idaho



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 Lewiston, Idaho 83501
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A.06



Northeast Elevation

K&G Office Addition
625 D Street
Lewiston, Idaho



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Lewiston, Idaho 83501
Tel: 509.552.3463

A.07

AREA

(E) MAIN FLOOR OFFICE = 1,164 S.F.
NEW MAIN FLOOR OFFICE = 1,596 S.F.

UPPER FLOOR OFFICE = 1,596 S.F.
PROPOSED ROOF DECK = 671 SF

FIRE AREA = ±4,789 S.F.

OCCUPANT LOAD

MAIN FLOOR (E) OFFICE = 15
NEW MAIN FLOOR OFFICE = 9
TOTAL MAIN FLOOR = 24

NEW UPPER FLOOR OFFICE = 9
PROPOSED ROOF DECK = 23
TOTAL UPPER FLOOR = 32

TOTAL BUILDING OCC LOAD = 56
(INCLUDES FUTURE ROOF DECK)

NEW ADDITION BUILDING INFORMATION

CONSTRUCTION TYPE: V-B, NOT SPRINKLERED
USE: B (OFFICE) SINGLE USE BUILDING WITH ACCESSORY STORAGE ROOM(S)

REQUIRED FIRE RATED CONSTRUCTION

IBC TABLE 602. EXTERIOR WALLS, NOT ADJACENT TO PUBLIC RIGHT-OF-WAY LESS THAN 10'-0" FROM PROPERTY LINE TO BE 1 HOUR FIRE RATED CONSTRUCTION.

IBC 705.2. PROJECTIONS.

NO PROJECTIONS ALLOWED FROM 0-2 FT FROM PROPERTY LINE.

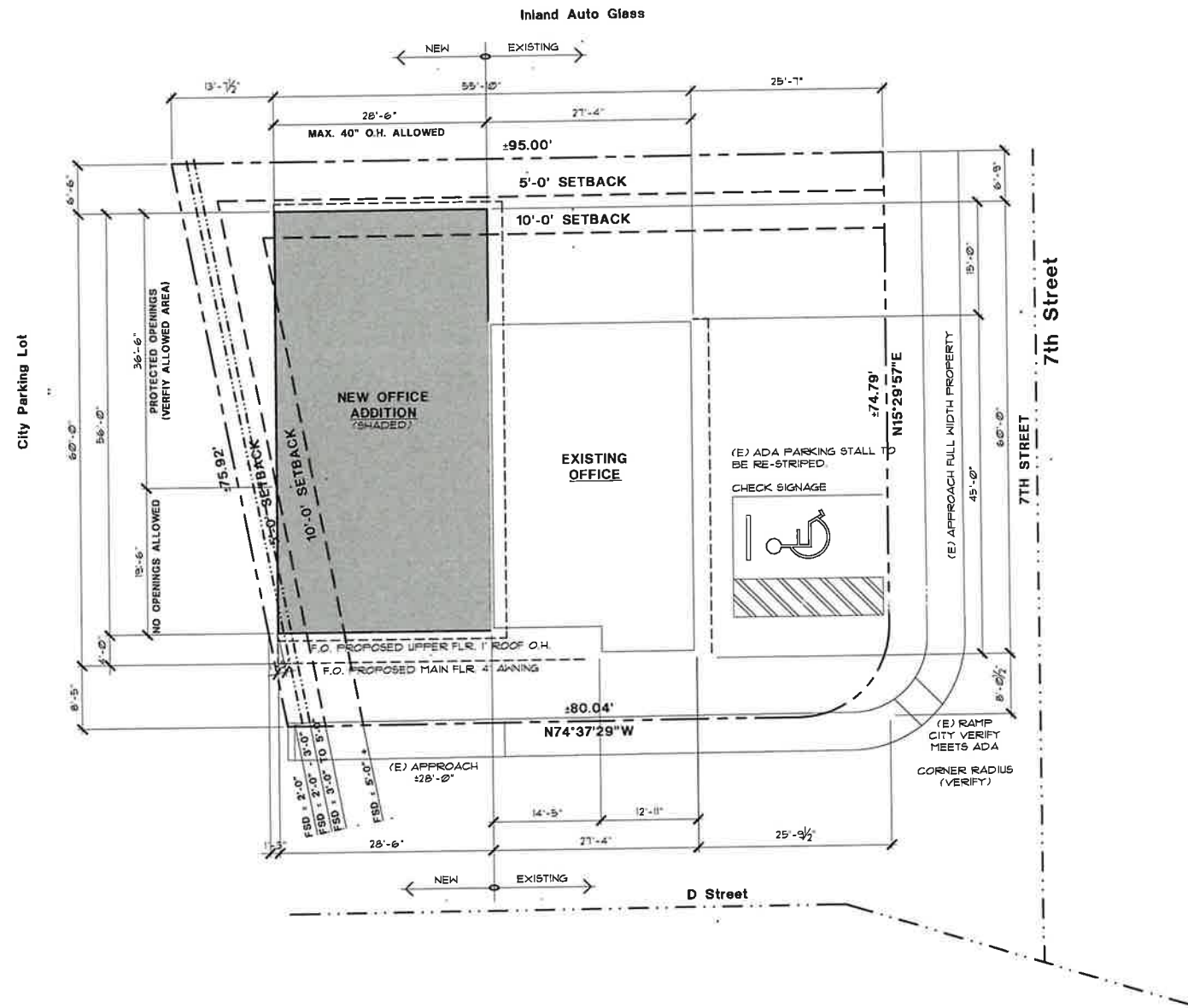
- (REVIEW WITH CITY - PROPOSED NON-COMBUSTIBLE (METAL) AWNING ON SOUTH WALL. IF AWNING EXTENDS ALL THE WAY TO THE SOUTHWEST CORNER OF THE BUILDING, IT IS WITHIN 1'-3" OF THE PROPERTY LINE.

IBC 705.8. OPENINGS. OPENINGS INDICATED SHALL MEET THE REQUIREMENTS OF ALLOWABLE AREA PER IBC 705.8. THIS INFORMATION IS NOT INDICATED ON THE DRAWINGS.

- PROTECTED OPENINGS SHALL COMPLY WITH IBC 716.

IBC 705.11. EXCEPTION 4. IN LIEU OF A PARAPET WALL THE UPPER FLOOR CEILING WILL BE 1 HOUR FIRE RATED. NO OPENINGS IN THE ROOF WITHIN 10'-0" OF THE EXTERIOR WALL. THE ROOF SHALL BE RATED CLASS B.

VICINITY MAP



SITE PLAN

1" = 10' - 0"

1 HOUR FIRE RATED EXTERIOR WALLS REQUIRED ON NORTH & WEST ELEVATIONS DUE TO PROXIMITY TO PROPERTY LINE (FIRE BARRIER CONSTRUCTION)

1 HOUR FIRE RATED CEILING REQUIRED UPPER FLOOR (NO PARAPET WALL)

NO OVERHANG ALLOWED ON WEST SIDE

SITE LEGEND

NEW BUILDING	LANDSCAPE
CONCRETE	ASPHALT
PAVERS	ROCK

DT = DRIVE THRU
LP = LIGHT POLE
PS = POLE SIGN

K&G CONSTRUCTION OFFICE ADDITION

625 D Street Lewiston Idaho

SITE PLAN

CLEVER FOX
ARCHITECTURE

0201 1st Street, Studio B, Lewiston, ID 83501
(509) 552-3463
office@cleverfoxarchitecture.com
cleverfoxarchitecture.com

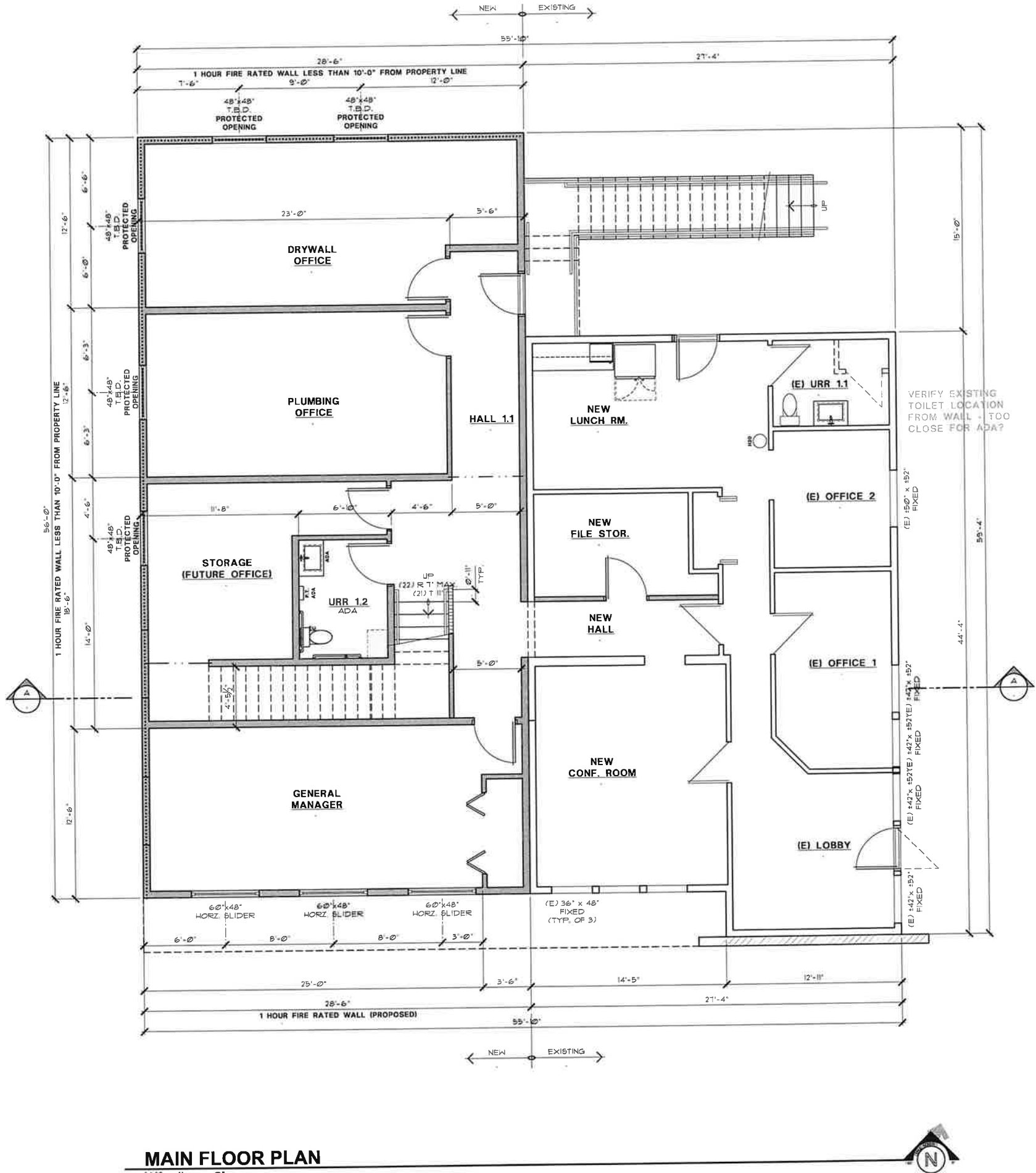
DRAWN BY: MR
CHECKED BY: MR
DATE: 8/21/2023
JOB NO: 23-03-20
REVISION DATE:

IND. PERMIT DWG

SHEET NO:

A1

FLOOR PLAN LEGEND	
	EXISTING WALL
	EXISTING MASONRY WALL
	NEW WALL
	NEW HALF WALL
	NEW MASONRY WALL
	NEW BEARING WALL
DOORS:	
	EXISTING
	NEW



MAIN FLOOR PLAN
1/4" = 1' — 0"

CLEVER FOX
ARCHITECTURE

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office@cleverfoxarchitecture.com

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cleverfoxarchitecture.com

K&G CONSTRUCTION OFFICE ADDITION

625 D Street Lewiston Idaho

MAIN FLOOR PLAN

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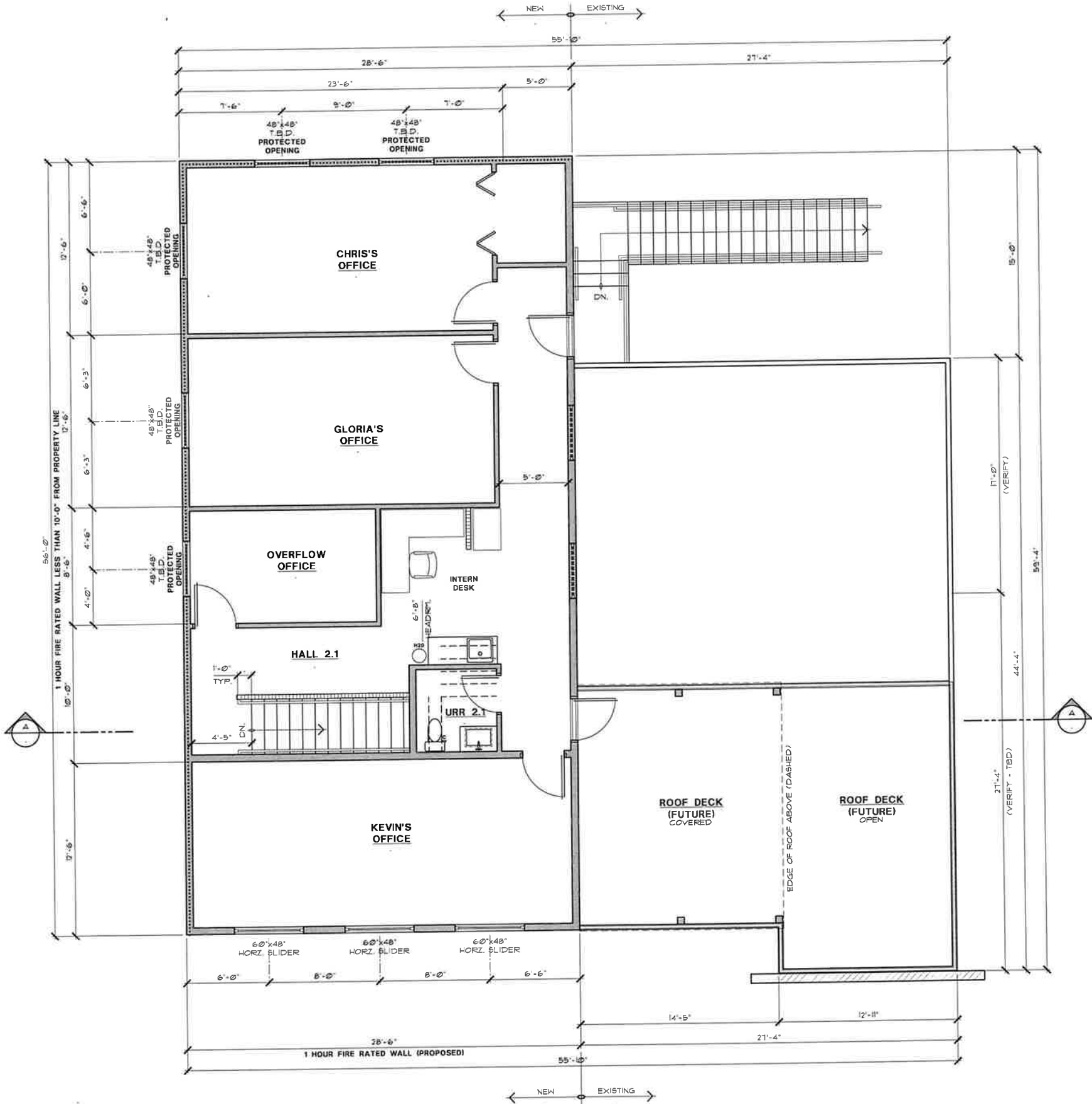
ND. PERMIT DWG

SHEET NO:

A2

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FLOOR PLAN LEGEND	
	EXISTING WALL
	EXISTING MASONRY WALL
	NEW WALL
	NEW HALF WALL
	NEW MASONRY WALL
	NEW BEARING WALL
DOORS:	
	EXISTING
	NEW



UPPER FLOOR PLAN

1/4" = 1' - 0"



K&G CONSTRUCTION OFFICE ADDITION

625 D Street Lewiston Idaho

UPPER FLOOR PLAN



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office@cleverfoxarchitecture.com
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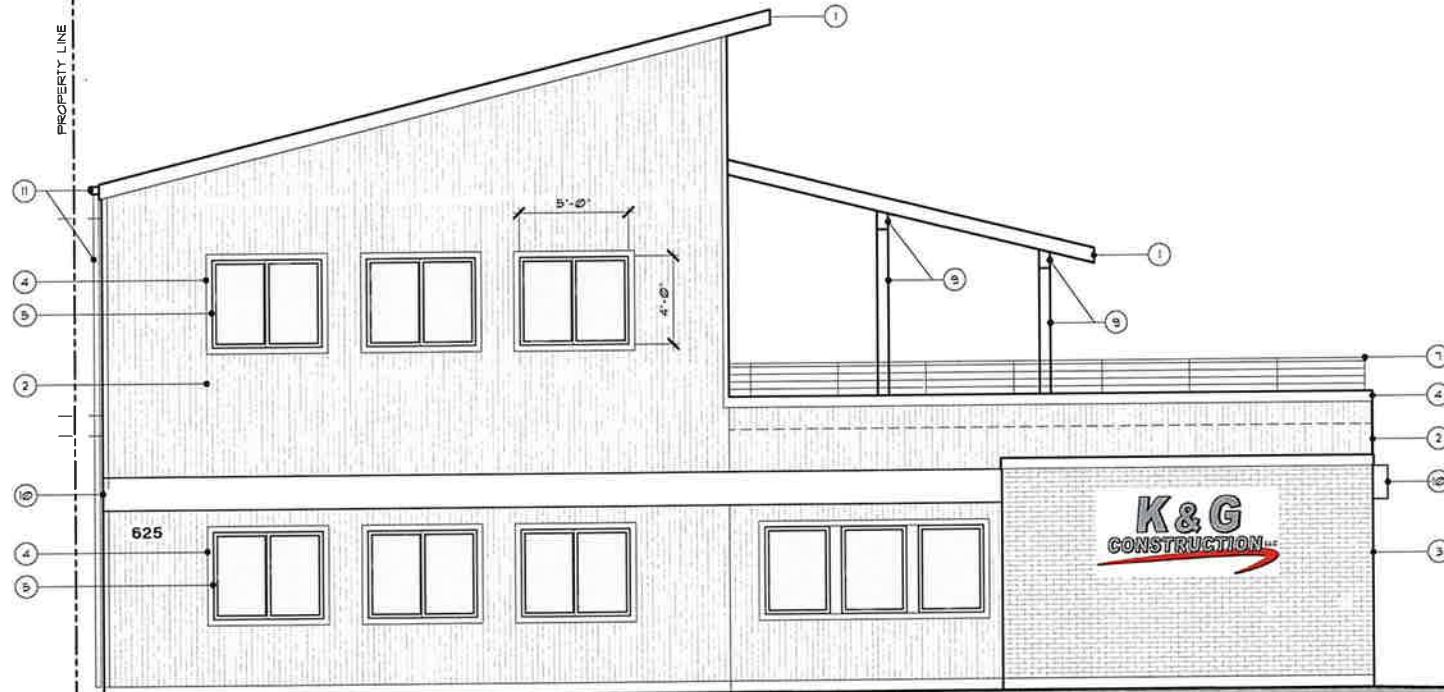
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SHEET NO:

A4

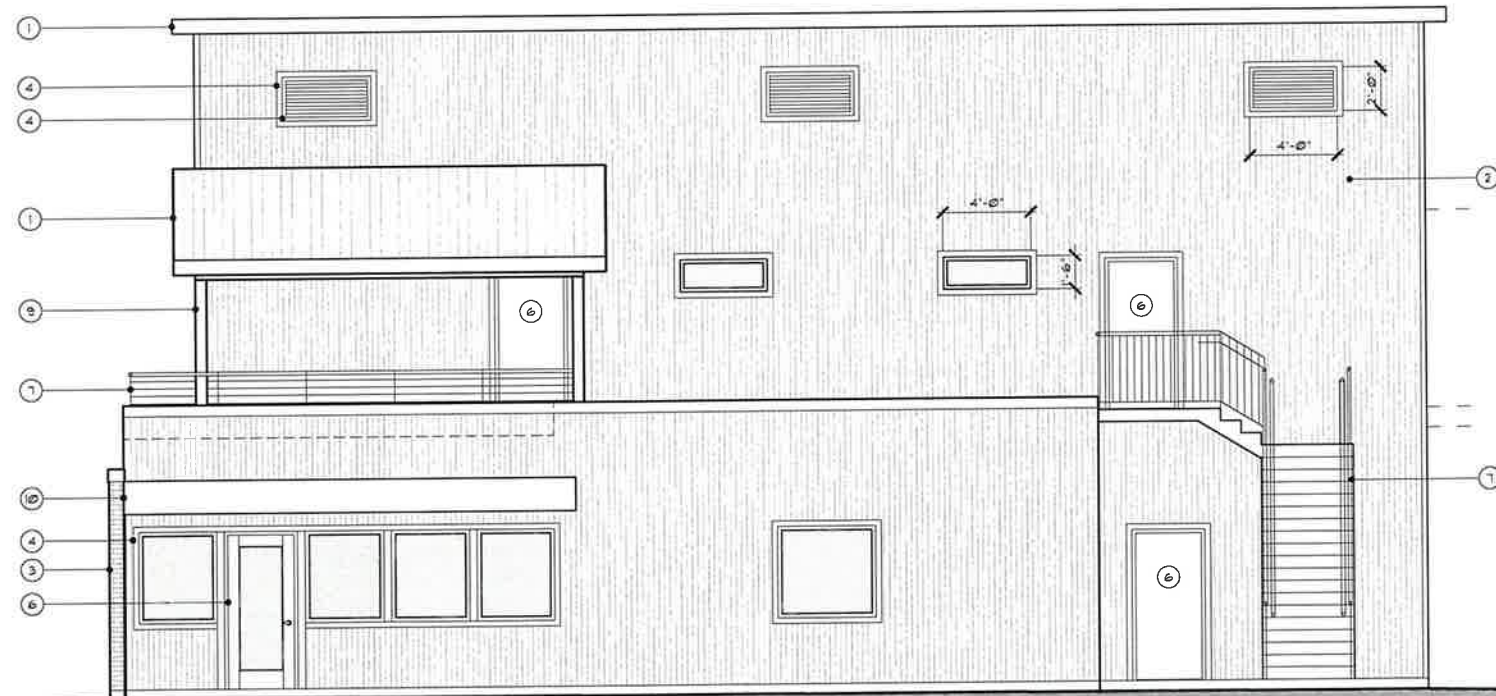
KEYED NOTES - MATERIAL & COLOR

- ① ROOFING: "METAL SALES" IMAGE II
COLOR: SLATE GREY (W38)
- ② SIDING: "METAL SALES" EMI-1653 CF
COLOR: OLD TOWN GRAY (W25).
- ③ BRICK: PAINTED TO MATCH SLATE GREY.
- ④ TRIM: "METAL SALES"
COLOR: SLATE GREY (W38)
FASCIA, CORNERS, PARAPET CAPS, VENTS,
DOOR & WINDOW TRIM
- ⑤ WINDOW FRAMES: BLACK
- ⑥ HOLLOW METAL DOORS: PAINT TO MATCH OLD
TOWN GREY.
- ⑦ RAILS: PAINTED/POWDER COATED BLACK.
- ⑧ STAIR: METAL PAINTED/POWDER COATED TO
MATCH SLATE GREY
- ⑨ ROOF DECK STRUCTURE: WOOD, STAINED &
SEALED.
- ⑩ AWNINGS: WELDED STEEL. POWDER COAT BLACK.
- ⑪ GUTTERS / DOWNSPOUTS: TO MATCH SLATE GRAY.



SOUTH ELEVATION

1/4" = 1' - 0"



EAST ELEVATION

1/4" = 1' - 0"

K&G CONSTRUCTION OFFICE ADDITION

625 D Street Lewiston Idaho

EXTERIOR ELEVATIONS



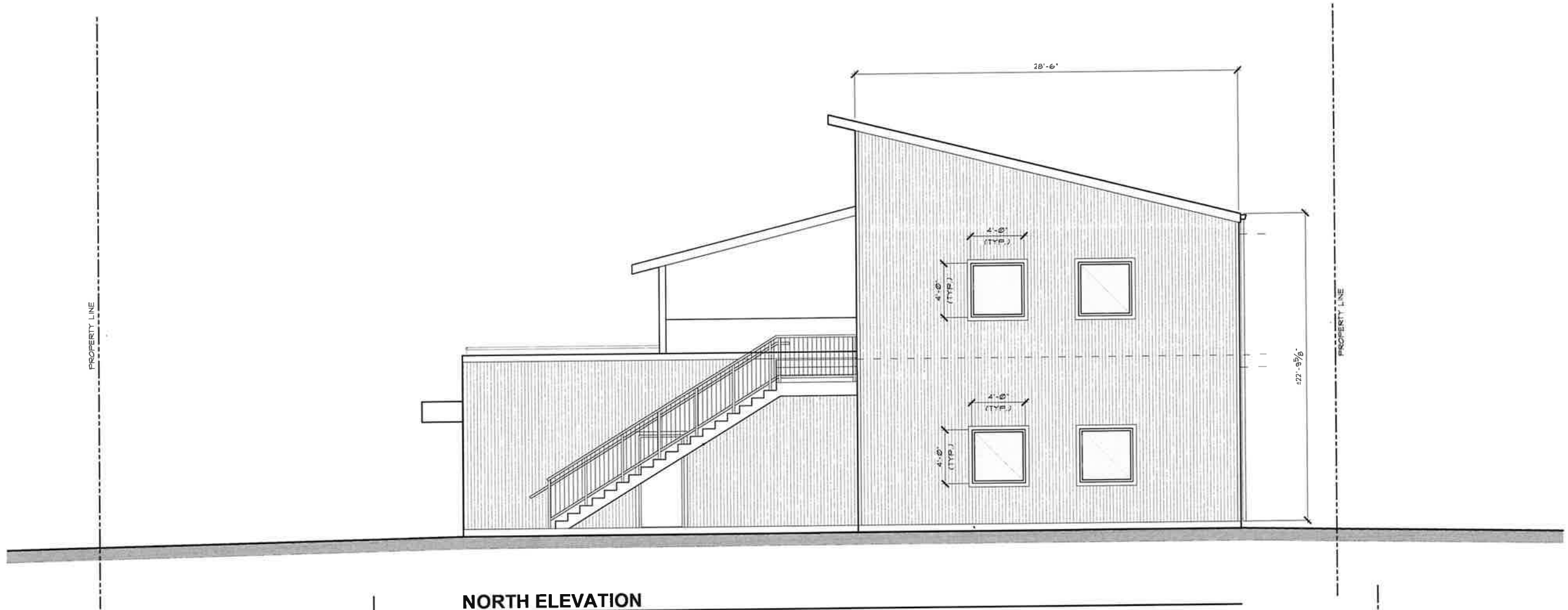
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IND. PERMIT DWG

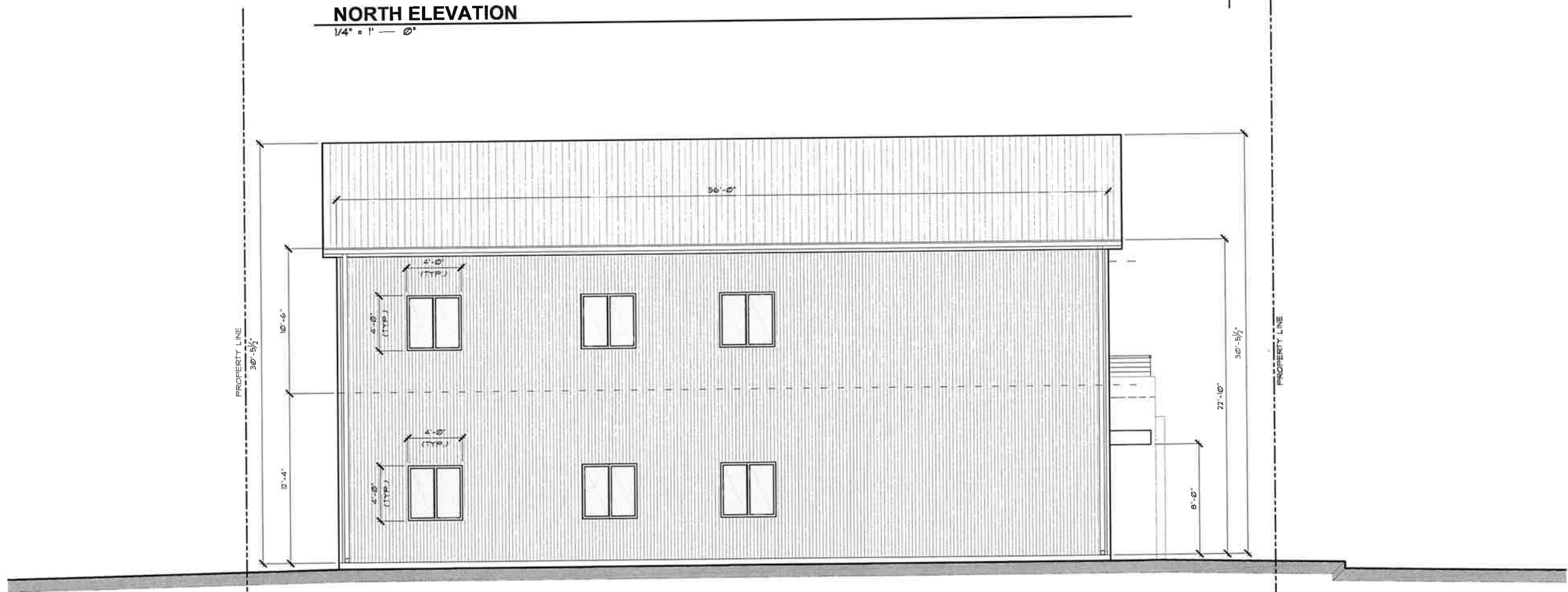
SHEET NO:

A7.1



NORTH ELEVATION

1/4" = 1' — 0"



WEST ELEVATION

1/4" = 1' — 0"

K&G CONSTRUCTION OFFICE ADDITION

625 D Street Lewiston Idaho

EXTERIOR ELEVATIONS

CLEVER FOX
ARCHITECTURE

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office@cleverfoxarchitecture.com

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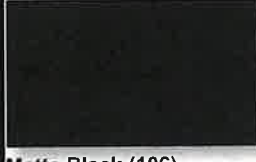
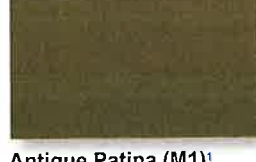
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IND. PERMIT DWG

SHEET NO:

A7.2

PVDF Paint System

				
Snowdrift White (W81)	Linen White (81)	Sandstone (W51)	Parchment (W74)	Taupe (74)
				
Khaki (88)	Medium Bronze (H4)	Weathered Copper (W50)	Mansard Brown (133)	Dark Bronze (50)
				
Ash Grey (25)	Old Town Grey (W25)	Old Zinc Grey (W29)	Slate Grey (W38)	Matte Black (106)
				
Aged Copper (65)	Patina Green (W58)	Hemlock Green (M7)	Classic Green (66)	Felt Green (W66)
				
Patriot Red (73)	Terra Cotta (W72)	Colonial Red (W75)	Brandywine (P8)	River Teal (59)
				
Metallic Silver (K7)*	Champagne Metallic (168)*	Mistique Plus (W31)*	Copper Penny (W92)*	Antique Patina (M1)*
				
Tahoe Blue (W71)	Ocean Blue (35)	Regal Blue (W35)	Galvalume® (41) Non-painted Finish 25 Year Warranty	



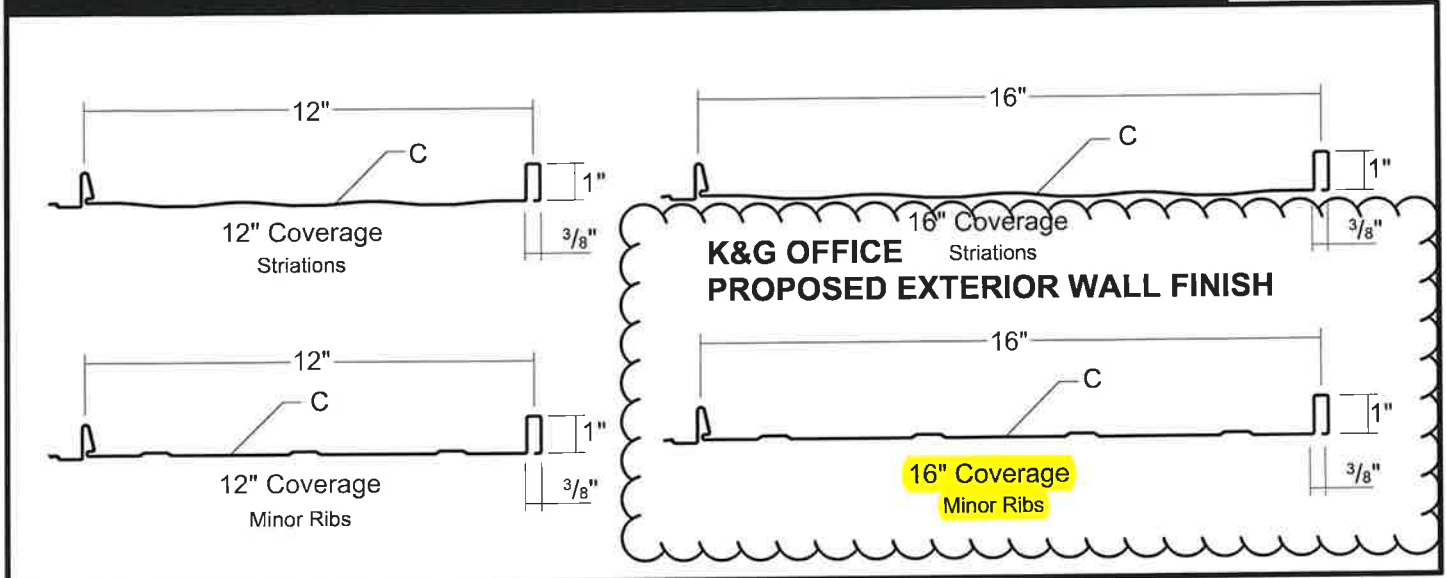
* Metallic Colors, up-charge will apply

Visit metalsales.us.com for valuable tools and resources.



All colors carry a 45 year limited paint warranty. Color selections are close representations but are limited by printing and viewing conditions. Actual samples are available by request.





**ARCHITECTURAL
RESIDENTIAL
PANEL**

**CONCEALED
FASTENED**

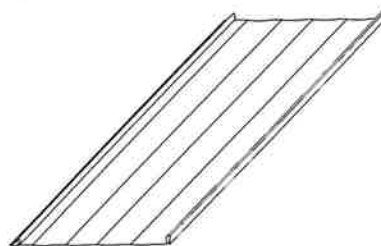
**12" OR 16"
COVERAGE**

**MINIMUM
SLOPE
3:12**

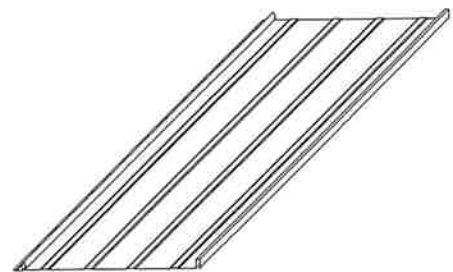
**SOLID WOOD
SUBSTRATE**

PANEL OVERVIEW

- ▶ Finishes: MS Colorfast45® and Acrylic-Coated Galvalume®
- ▶ Corrosion Protection: AZ55 per ASTM A 792 for unpainted Galvalume®
AZ50 per ASTM A 792 for painted Galvalume®
G90 per ASTM A 653 for Galvanized
- ▶ Gauges: 26 ga standard; 24 ga optional
- ▶ 12" or 16" panel coverage, 1" rib height
- ▶ Panel Length: Minimum: 5'; Maximum: 30' recommended
- ▶ Architectural, concealed direct fastened, integral standing rib roof system
- ▶ Minimum roof slope: 3:12
- ▶ Applies over plywood with minimum 30# felt underlayment



With Striations



With Minor Ribs

TESTING AND APPROVALS

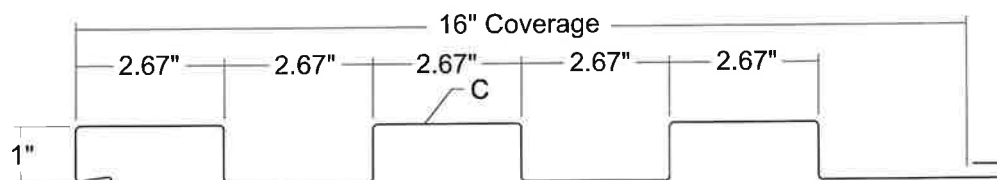
- ▶ UL 2218 Impact Resistance - Class 4
- ▶ UL 790 Fire Resistance Rating - Class A, per building code
- ▶ UL 263 Fire Resistance Rating - per assembly
- ▶ UL 580 Uplift Resistance - Class 90 Construction: #529
- ▶ Texas Windstorm - Evaluation RC-162 and RC-399
- ▶ 2020 FBC Approvals - FL11560.4, FL11560.5, FL14645.11, FL40264.5, FL40264.6 and FL42034.4
- ▶ Miami-Dade County, Florida NOA 23-0711.05 expires 8/8/2028
- ▶ ICC Evaluation Report - ESR-2385

MS Metal Sales™

EM1-1653 CF WALL

Condensed
Technical
Reference

EMPIRE SERIES™



**K&G OFFICE
PROPOSED EXTERIOR WALL FINISH**

**ARCHITECTURAL
COMMERCIAL
INDUSTRIAL
PANEL**

**CONCEALED
FASTENERS**

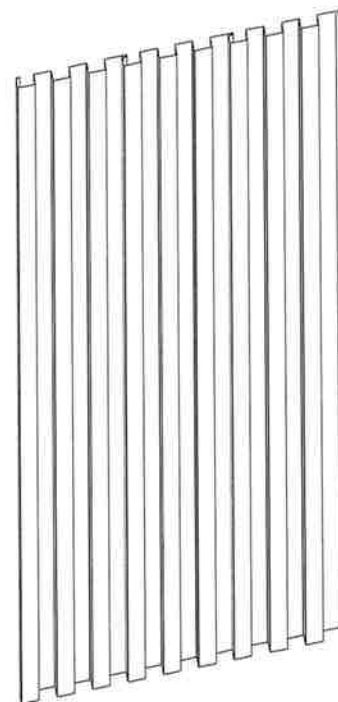
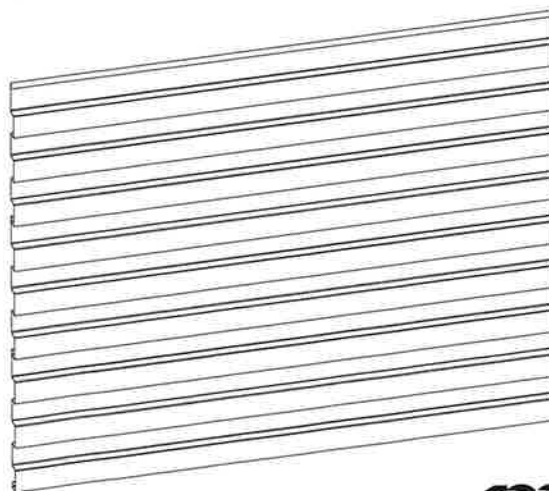
**16"
COVERAGE**

**WALL AND
LINER PANEL**

**OPEN FRAMING OR
SOLID SUBSTRATE**

PANEL OVERVIEW

- ▶ Finish: Standard: PVDF and Acrylic-Coated Galvalume®
Optional: multi-pass Kynar 500® and Fluoropon® PURE
- ▶ Corrosion Protection: AZ50 per ASTM A 792 for Painted Galvalume®
AZ55 per ASTM A 792 for Acrylic-Coated Galvalume®
G90 per ASTM A 653 for Painted Galvanized
- ▶ Gauges: 24 ga standard; 22 ga and 20 ga optional
- ▶ 16" panel coverage, 1" panel height, 5 $\frac{1}{3}$ " rib spacing
- ▶ Clip-attached, concealed-fastened panel system
- ▶ Panel Length: 5' minimum, 30' maximum
- ▶ Panels can be installed horizontally or vertically
- ▶ Panels are interchangeable for accent effects
- ▶ Use on single-skin or field-assembled wall systems



TESTING

- ▶ ASTM E 283 Air Leakage
- ▶ ASTM E 331 Water Penetration
- ▶ ASTM E 330 Load Test
- ▶ ASTM E 1592 Load Test

ms metal sales™
manufacturing corporation

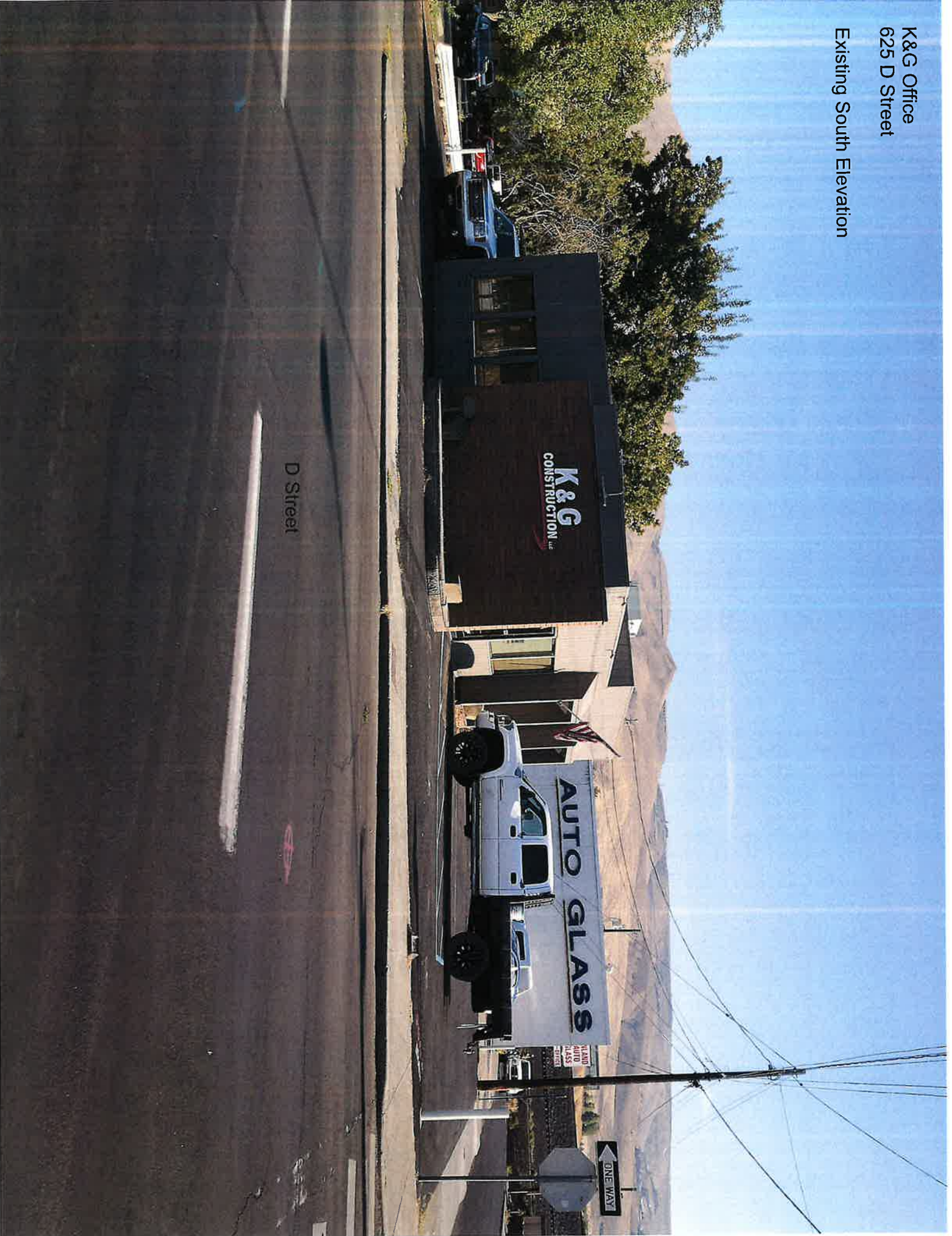
Existing East Elevation



7th Ave

K&G Office
625 D Street

Existing South Elevation



LEWISTON DESIGN GUIDELINES FOR THE WEST END HISTORIC DISTRICT

CERTIFICATE OF APPROPRIATENESS REVIEW FORM

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values. The Rehabilitation Standards acknowledge the need to alter or add to a historic building to meeting continuing or new uses while retaining the building's historic character.

(A) Brick, Stone and Concrete: Buildings with brick exterior walls may be structural (load bearing) brick or simply a brick veneer covering another structural material.			
Generally recommended:	Property Complies? Yes/No	Not Applicable to this project	Notes
1. Preservation of historical brick, stone, or concrete exterior walls.	YES ☒ NO ☒	N/A ☒	
2. Repointing with the same type of mortar used historically, and only if needed. Preserving original mortar if it remains in good condition.	YES ☒ NO ☒	N/A ☒	
3. Leaving brick, stone, or concrete walls unpainted that were not painted historically. Brick masonry naturally has a water-protective layer, or patina, to protect it from the elements; painting can seal in moisture and prevent the brick from breathing.	YES ☒ NO ☒	N/A ☒	
4. Cleaning brick, stone, and concrete only if needed, and then with the gentlest methods possible. Research and test cleaning procedures before applying them. Low pressure water and detergent using bristle brushes is often effective.	YES ☒ NO ☒	N/A ☒	
5. Proper drainage to prevent water damage to brick, stone, or concrete masonry.	YES ☒ NO ☒	N/A ☒	

(B) Metals: Metals were often used in historical buildings, particularly for ornamental elements such as columns and cornices and utilitarian features such as door and window hardware.

Generally recommended:	Property Complies? Yes/No	Not Applicable to this project	
1. Preservation of character-defining historical metal features.	YES ☐ NO ☐	N/A ☐	
2. Maintaining historical protective coatings on metal features.	YES ☐ NO ☐	N/A ☐	
3. Repair of historical metal features, if needed, by patching and splicing with compatible metal.	YES ☐ NO ☐	N/A ☐	
4. Cleaning, if needed, with the gentlest methods possible.	YES ☐ NO ☐	N/A ☐	
5. Providing proper drainage to prevent water damage to historical metal elements.	YES ☐ NO ☐	N/A ☐	

C Wood: Historical wooden elements include doors, window sash, and sometimes ornament or siding.

Generally recommended:	Property Complies? Yes/No	Not Applicable to this project	
1. Preservation of character-defining historical wood features. Repair of historical wood features, if needed, by patching and splicing with compatible wood. Replacement "in-kind" (with the same size, type, and material) only if the historical element is too deteriorated to repair.	YES ☐ NO ☐	N/A ☐	
2. Maintaining historical protective coatings, such as paint of historical colors, on wood features.	YES ☐ NO ☐	N/A ☐	
3. Cleaning, if needed, with the gentlest method possible.	YES ☐ NO ☐	N/A ☐	
4. Providing proper drainage to prevent water damage to historical wood elements.	YES ☐ NO ☐	N/A ☐	

(D) Design Guidelines for Historic Building Elements

Generally recommended:	Property Complies? Yes/No	Not Applicable to this project	
1. Preservation of character-defining historical features of the storefront and main façade, including display windows, bulkheads, entryways, doors, transom lights, upper story windows, cornices, and parapets.	YES ☐ NO ☐	N/A ☐	
2. If a storefront has been altered, restoration to the original design is no longer evident and historical photographs are not available, a simplified interpretation of similar period storefronts is often acceptable. Removal of incompatible modern materials covering historical elements may be appropriate.	YES ☐ NO ☐	N/A ☐	
3. If the altered storefront has acquired historic significance in its own right, preserving the altered storefront may be the most appropriate course of action.	YES ☐ NO ☐	N/A ☐	
4. Preservation of historical storefronts on secondary building facades.	YES ☐ NO ☐	N/A ☐	

(E) Windows: This section addresses windows other than display windows, generally situated on upper levels of a commercial building. Most historical windows of the 1880's to 1960's period are wood sash, although some later windows during this period are metal sash.

Generally recommended:	Project Complies? Yes/No	Not Applicable to the project	
1. Preserving the functional and decorative features of historic windows, including the sash, glazing, sills, moldings, hardware, and trim. Features too deteriorated to repair can be replaced "in-kind" (with the same size, type, and material).	YES ☐ NO ☐	N/A ☐	
2. Preservation of historical window openings, particularly on highly visible primary facades.	YES ☐ NO ☐	N/A ☐	

3. If replacement of historical windows is necessary, use of new windows that retain the appearance of the originals, particularly on highly visible primary facades, is desirable. Matching the sash profile and materials is recommended. At a minimum, replacement windows should match the number and position of glass panes and be composed of materials that appear similar to the originals.	YES ☐ NO ☐	N/A ☐	
4. Use of storm windows, particularly on the building interior, to enhance energy efficiency while preserving original historical windows. If the storm window is installed on the building exterior, matching the sash design and color of the original window is recommended.	YES ☐ NO ☐	N/A ☐	
(F) Doors: This section addresses exterior doors, generally situated on the ground level of a commercial building. Most historical doors of the 1880s to 1960s period are wood or wood and glass, although some later doors during this period are metal or metal and glass.			
Generally recommended:	Project Complies Yes/No	Not Applicable to this project.	
1. Preserving the functional and decorative features of historic doors, particularly the main entrance. Important historical door features include the door, sidelights, transom lights, hardware, and decorative detailing. Features too deteriorated to repair can be replaced "in-kind" (with the same size, type, and material).	YES ☐ NO ☐	N/A ☐	
2. Preservation of historical doorway openings, particularly on highly visible primary facades.	YES ☐ NO ☐	N/A ☐	

3. If replacement of historical doors is necessary, use of new doors that retain the appearance of the original materials and design, particularly on highly visible facades, is desirable. Replacement with a very ornate door is discouraged unless supported by historical photographic evidence.	YES ☐ NO ☐	N/A ☐	
(G) Roofs: This section addresses commercial building roofs of the 1880s to 1906s period, most of which are flat with flat or shaped parapets.			
Generally recommended:	Property Complies? Yes/No	Not Applicable to this project.	
1. Preserving the character-defining shape, color, and materials of a historical roof, particularly the highly visible parapet or eaves, cornice or other ornamental detailing, and - if visible from the street- roofing materials.	YES ☐ NO ☐	N/A ☐	
2. If historical roof features cannot be repaired, replacement with new materials or elements that retain the appearance of the originals is desirable.	YES ☐ NO ☐	N/A ☐	
3. Replacement of missing elements, such as a cornice, if supported by physical or photographic evidence.	YES ☐ NO ☐	N/A ☐	
4. Placement of modern rooftop features, such as skylights, HVAC units, patios, or decks, where they will be least visible from the street.	YES ☐ NO ☐	N/A ☐	

(H) Awnings and Canopies: Cloth and sometimes metal awnings and canopies were common during the 1880s through 1960s period. Many awnings could be rolled, raised, or lowered, and they often sheltered the entire walkway in front of a building, while canopies were generally of rigid construction.

Generally recommended:	Property Complies? Yes/No	Not Applicable to this project.	
1. Maintaining and repairing existing historical canopies or awnings or replacement with canopies or awnings that retain the appearance of the originals. Replacement of missing historical canopies or awnings with historically compatible designs.	YES ☐ NO ☐	N/A ☐	

(I) Chimneys: Chimneys in 1880s to 1960s historical buildings are generally brick features incorporated into the building or walls and protruding from the roof or parapet. Many are no longer functional.

Generally recommended:	Property Complies? Yes/No	Not Applicable to this project.	
1. Maintenance and repair of existing historical chimneys, whether functional or not.	YES ☐ NO ☐	N/A ☐	

(J) Balconies: Although balconies are rather uncommon features, they may be (or may have been) present on historical buildings in the Lewiston West Historic District.

Generally recommended:	Property Complies? Yes/No	Not Applicable to this project.	
1. Maintaining and repairing existing historical balconies or replacement with balconies that retain the appearance of the originals. Replacement of missing balconies, documented by physical evidence or historical photographs, with historically compatible designs.	YES ☐ NO ☐	N/A ☐	
2. If construction of new balconies is needed for adaptive reuse of a historic building, placement on the rear elevation or other less visible facades is recommended.	YES ☐ NO ☐	N/A ☐	

(K) Design Guidelines for Additions to Historic Buildings: Converting a historic building to a new use may necessitate construction of additions; this is acceptable under the treatment Rehabilitation.			
Generally recommended:	Property Complies? Yes/No	Not Applicable to this project.	
1. Construction of additions, including elevator shafts and additional exit stairways, on less visible facades of a historical building or set back from the main façade. Such additions should be designed to be subordinate to the original building.	YES ☐ NO ☐	N/A ☐	
2. Construction of additions compatible with the historical building in terms of scale, materials, and character, but easily distinguished from historical portions of the building.	YES ☐ NO ☐	N/A ☐	
3. Roof additions should be set back to reduce visibility from streets adjacent to the main facades. If visible from the adjacent streets, such additions should be of modest size and compatible, although distinguishable, from the original building.	YES ☐ NO ☐	N/A ☐	
4. Building modifications allowing barrier-free disabled access designed to be compatible with and subordinate to the original building. Disabled access at the main entrance is desirable.	YES ☐ NO ☐	N/A ☐	
5. Preservation of additions that have achieved historic significance in their own right - that is, additions that are generally 50 or more years of age and retain an acceptable level of integrity - may be desirable.	YES ☐ NO ☐	N/A ☐	

(L) Design Guidelines for Parking Facilities, Lighting, Signs and Streetscapes: Since the goal of Rehabilitation is to provide new uses for historic buildings, and the setting must be conducive to the selected use. Parking facilities, lighting, signage, and generally pleasant streetscapes are of the utmost importance in encouraging people to visit shops and other commercial venues in the historic district.

Generally recommended.	Property Complies? Yes/No	Not Applicable to this project.	
1. Off-street parking located behind party wall buildings or shielded from main streets or walkways by vegetation or compatible walls.	YES ☐ NO ☐	N/A ☐	
2. Locating off-street parking lots in areas with no historical buildings.	YES ☐ NO ☐	N/A ☐	
3. Use of simple low intensity lighting fixtures casting a warm light (similar to daylight), focused on building entrances, signs, and first floor detailing. Historical lighting fixtures should be preserved if possible. Modern fixtures should be compatible with the historic building and its surroundings in terms of size, scale, and color.	YES ☐ NO ☐	N/A ☐	
4. Consistent street lighting fixtures throughout the historic district may be a means of unifying the area. Although the fixtures do not need to imitate historical types, dark colors reminiscent of cast iron may be appropriate for earlier historic districts, while a silver color reminiscent of aluminum may be appropriate for mid-twentieth century districts.	YES ☐ NO ☐	N/A ☐	
5. Use of signs that are compatible with and do not overwhelm the architecture of the building and district. Avoid plastic signs if possible. Consistent size and placement of signage contributes to unification of the downtown area.	YES ☐ NO ☐	N/A ☐	
6. Historic building names or historic signs should be retained, if possible, as part of the historic building.	YES ☐ NO ☐	N/A ☐	

7. Preservation of historic painted advertisements on exterior building walls. Careful repainting of faded images may be acceptable.	YES ☐ NO ☐	N/A ☐	
8. Service structures- such as garbage, utilities, and storage- placed where not visible from main streets or walkways. Screening with vegetations or compatible walls or structures is generally appropriate.	YES ☐ NO ☐	N/A ☐	
9. Power and telephone poles should be compatible, in terms of size and color, with nearby historic buildings. Although the poles do not need to imitate historical types, wood poles or poles painted to resemble wood may be appropriate for earlier historic districts, while a silver color reminiscent of aluminum may be appropriate for mid-twentieth century districts.	YES ☐ NO ☐	N/A ☐	
10. Maintenance of pleasant streetscapes, perhaps with trees or planters, sidewalks, and simple compatible street furniture. Retain a clearly defined pedestrian travel route.	YES ☐ NO ☐	N/A ☐	
11. Historical features, such as original street furniture, statues, walls, sidewalk inscriptions, stone curbs, and power poles, contribute to the historic character of the district as a whole, and should be retained if possible.	YES ☐ NO ☐	N/A ☐	

12. Until about the 1920s, most commercial district buildings were constructed as party wall structures with the main facades aligned along the street. Alteration of this familiar pattern through removal of a historic building or setback of a replacement structure creates mild confusion, making the area less predictable and hence, less comfortable for a visitor. Installation of walls, sculptures, or vegetation may adequately substitute for an altered street wall (building facade line).	YES ☐ NO ☐	N/A ☐	
13. The presence of pleasant public spaces encourages visitors to spend time in downtown areas.	YES ☐ NO ☐	N/A ☐	
14. Where it exists, historic brick street surfacing should be retained if possible.	YES ☐ NO ☐	N/A ☐	

(M) Design Guidelines for New Construction within a Historic District: New construction within a historic district may be desirable to fill gaps left when buildings were destroyed by fire or removed for other reasons. New buildings in the Lewiston West End Historic District should be designed to maintain the district's visual continuity, including relatively uniform heights and facade widths, the pattern of storefronts along Main Street, repetition of recessed entryways and vertical upper story windows, and free-standing buildings north and south of Main Street.

Generally recommended:	Property Complies? Yes/No	Not Applicable to this project.	
1. Adaptive re-use of historical buildings rather than construction of new buildings.	YES ☐ NO ☐	N/A ☐	
2. Construction of new buildings compatible with surrounding historical buildings in terms of scale, height, materials, and character, but easily distinguished from the historical buildings.	YES ☐ NO ☐	N/A ☐	
3. In portions of the historic district with continuous party wall buildings, new buildings should also be party wall with main facades aligned with older buildings' main facades to maintain the street wall.	YES ☐ NO ☐	N/A ☐	
4. Use of brick cladding on new buildings would generally be appropriate throughout the Lewiston West End Historic District. Use of metal cladding or poured concrete walls may be deemed compatible in certain portions of the district.	YES ☐ NO ☐	N/A ☐	
5. Design of windows and doors on a new building's main façade to be compatible with those of nearby historical buildings in terms of general size and alignment.	YES ☐ NO ☐	N/A ☐	
6. Design of a new building's main façade to be compatible with those of nearby historical buildings in terms of horizontal and vertical visual divisions.	YES ☐ NO ☐	N/A ☐	

Normal Hill Heritage Overlay
Application for Certificate of Appropriateness

Applicant Name: Edificare Construction Thomas H Brainerd Idaho RCE #55640		Property Owner Name & Address: Craig & Anne Marie Emerson 222 N. Prospect Blvd. Lewiston, ID 83501-2151		HPC Review Due Date: 9.7.23 NHNO# HPC23-000014	
Normal Hill Address: 222 North Prospect Blvd. Lewiston, ID 83501-2151				Associated Building Permit #	
Applicant Contact Details: email: tom@edificareconstruction.com Phone: Fax: 505.400.5989 Address (If not the same as above): 210 North Van Buren Street, Mosco, ID 83843					
Description of Work: (Please provide any drawings, photographs or other information that can describe the exterior work being conducted) Removal of existing porte cochere. Removal of roof and exterior door/window wall of mud room of home. Remove windows off of second story sitting room. Replace with exterior door/window wall in second story sitting room, new door/window wall in mud room and second story deck where porte cochere was.					
Project Start Date: 9/30/2023		Estimated Project Value: \$100,000		Proposed Use: COMMERCIAL OR RESIDENTIAL	
Will you be using a Contractor: Y / N Name & Contact Details of Contractor(s): Edificare Construction (Idaho RCE 55640) Thomas H. Brainerd (505.400.5989) 210 North Van Buren Street Moscow, Idaho					
Signature of Applicant: 				Date: 8/30/2023	
Name of Staff Person Receiving Application:				Date:	
Staff Valuation: (Please clip all documents to this application)					
Staff Comments:					

* No Fees are required for this application, but there maybe fees associated with the Building Permit



August 30, 2023

Katie Hollingshead
Assistant City Planner
City of Lewiston
215 D Street
Lewiston, ID 83501-1930

VIA EMAIL

Dear Katie,

On behalf of my clients, Craig and Anne Marie Emerson, I am enclosing an Application for Certificate of Appropriateness regarding improvements to be made at their residence at 222 North Prospect Boulevard, Lewiston. I am submitting this application in advance of the filing of an application for a building permit to have this project considered at the September meeting of the Historic Preservation Commission.

Given the limited space on the application itself, I wanted to provide you, and the Commission, with a broader understanding of the historical nature of the portion of the home we are dealing with, as well as the ways in which we are attempting to echo its architectural elements.

As originally built, the home had two protrusions off of its back side. The area between these two protrusions was, effectively, a small courtyard. As opposed to the rest of the first story, which has vertical grain fir flooring, the floor is stamped concrete. The walls of this area were clearly shingled; there is now tongue and groove wood panel over the shingles. This area was clearly exterior to the building envelope.

It is unclear whether this area was originally under a roof, or if the roof was a subsequent addition. Regardless, at some point in time the area was enclosed by a door/window wall, with a roof. Again, the order of things is not clear, but a porte cochere was extended off of the area. That is how things appear in the current picture.



The plan is to remove the porte cochere, the door/window wall and the roof of the mud room, and the windows on the wall of the second story sitting room. The porte cochere will be replaced by a second-story deck pursuant to the draft plans submitted as part of the application.

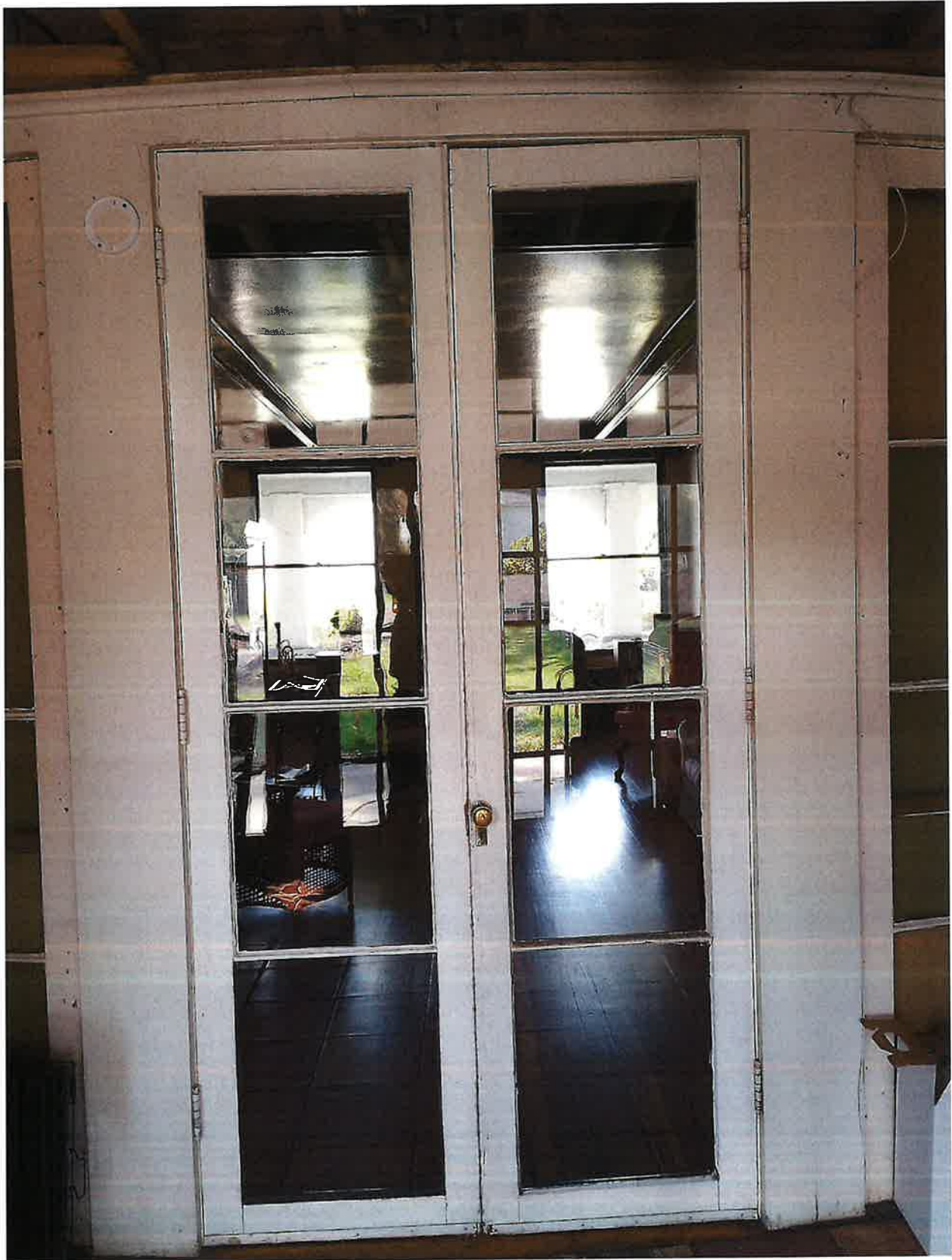
To the extent we can, we are trying to echo architectural details found on the property. For example, we are planning a double railing system for the deck. The internal railing will be a horizontal stainless steel cable system, to meet IRC railing requirements. The exterior railing system is designed to mirror the railing system on the front of the house, as shown here.





The below pictures show the doors between the mud room and the living room of the house. These used to be the exterior doors of the house. We are planning to use Therma-Tru doors and windows with a very similar conformation as doors and side lights as a door/window wall both out of the first story of the house and from the upstairs sitting room onto the deck. I am including a page from the Therma-Tru catalog showing the Therma-Tru S5715 and S85715 doors.







The column bases supporting the deck beams and the separate lower deck platform will utilize a concrete 'form insert' to echo the concrete work on the front and back of the house, giving the impression of hewn-stone-look concrete masonry units. I am embedding pictures of the post bases in the front of the house.





In addition, we will install Craftsman-style column wraps around the posts supporting the deck beams and lower platform, also echoing the look of the front of the house.





The decking material for the deck will be LockDry aluminum decking manufactured by Nexan Building Products (<http://www.nexaninc.com/products/decking/lockdry-waterproof-decking>). The decking is powder coated and the color will be either Granite Grey or Light Grey. I am attaching pictures of each. The decking will only be visible from ground level on the stairs. The decking comes with a matching edge trim, which will be visible around the perimeter of the deck.

The framing materials for the main deck will be wood. The framing for the separate platform and stairs will be steel, to provide the greater stability of welded and bolted junctions. Deck posts and the decorative outer railing system will be wood. The craftsman-style column wraps will be wood. All exterior finished structures will be painted or powder coated to match the house trim.

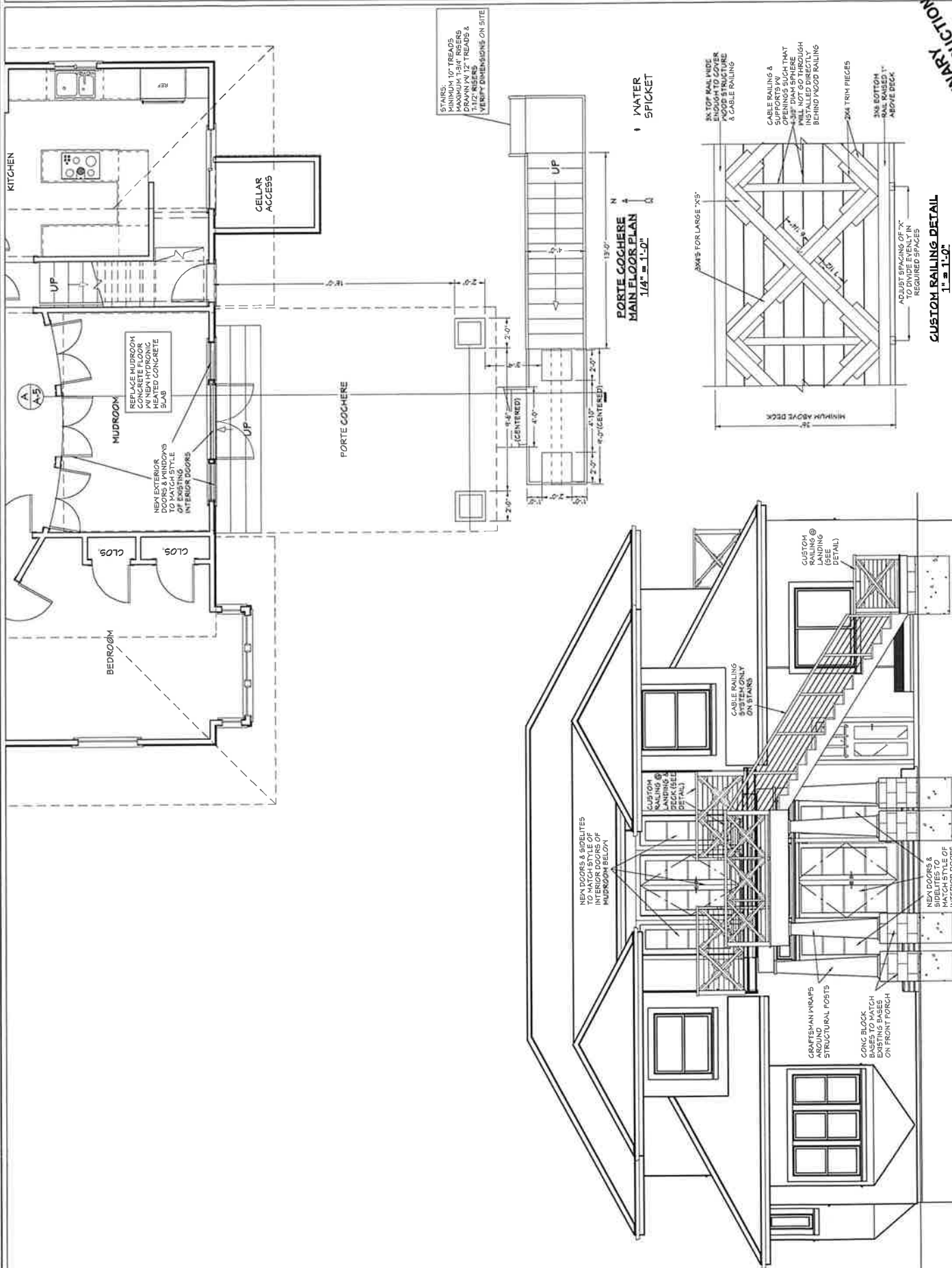
In addition, the current plan is to replace all paving with new concrete flatwork.

I hope this information is helpful in preparing your package for review by the Commission. If you have any questions in this regard, please contact me via phone or text (505.400.5989) or email (tom@edificareconstruction.com).

Thank you for your service to the City of Lewiston.

Yours very truly.

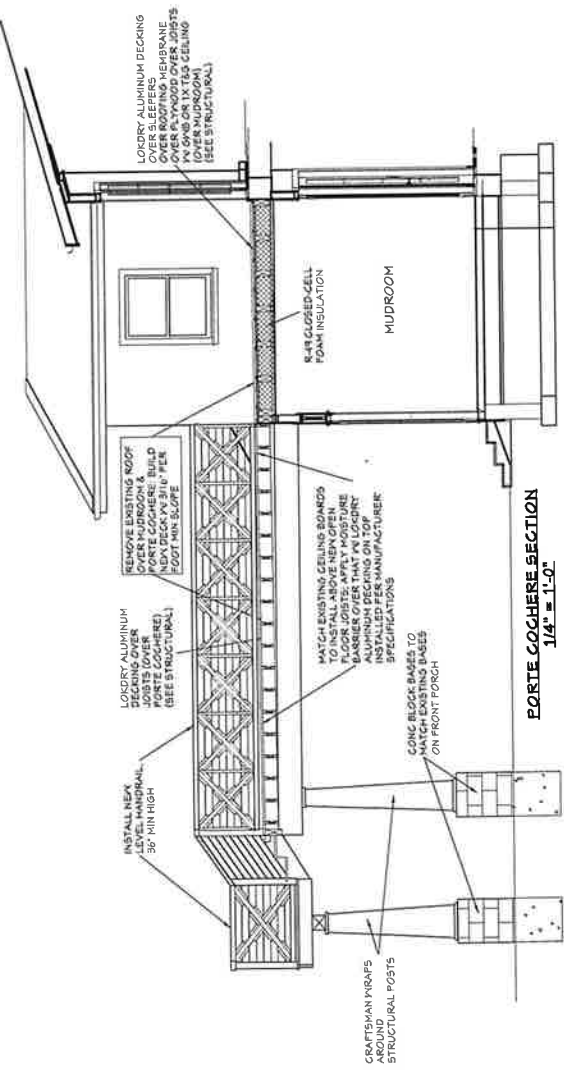
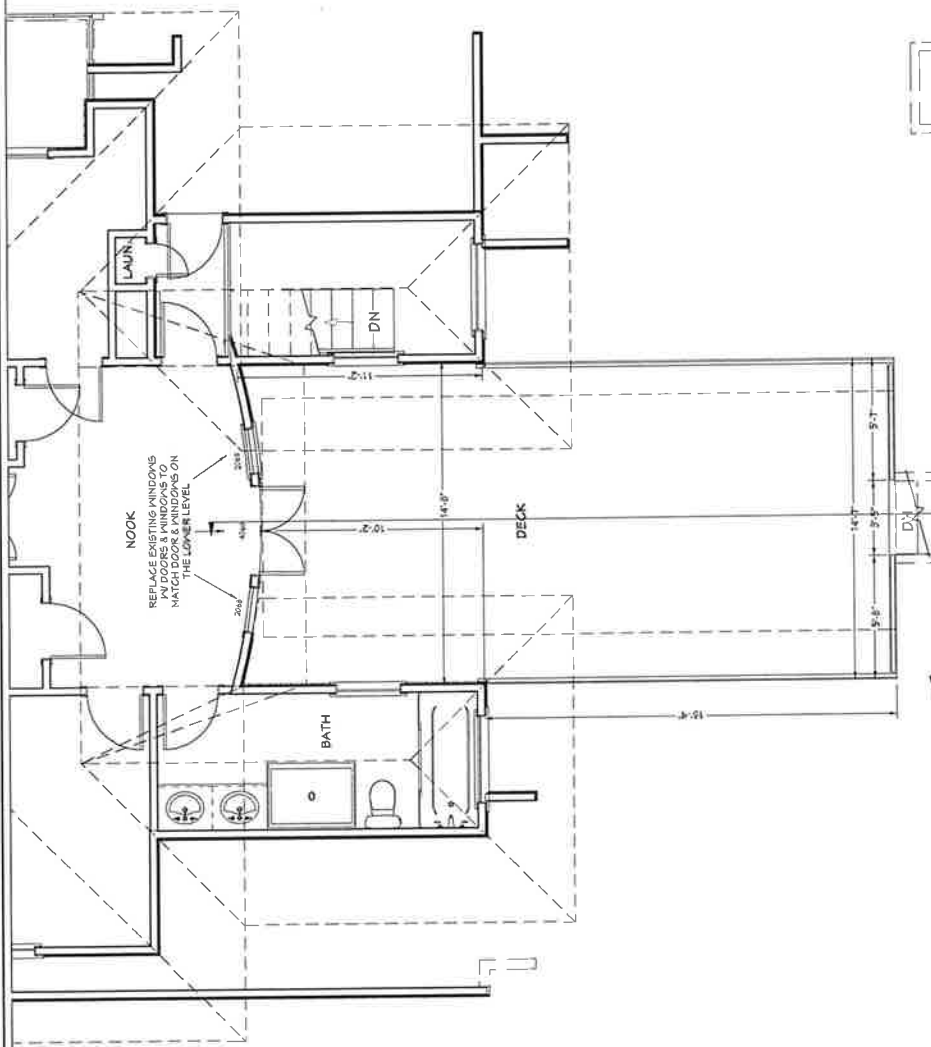
Tom Brainerd



NOT FOR CONSTRUCTION
PRELIMINARY

HOUSE SOUTH ELEVATION
1/4" = 1'-0"

NOT FOR CONSTRUCTION
PRELIMINARY





Privacy & Textured Glass with Divided Lites *Continues on next page.*

Key

- ▲ Flush-Glazed Glass with Detailed Sticking (FG)
- ▲ Simulated Divided Lites (SDL)
- ▲ Simulated Divided Lites (SDLF1)
- ▲ Simulated Divided Lites (SDLF2)
- Vented Sidelite Options
- E Elevated 10" Bottom Rail Options
- ▲ 6'6" Height Available







Normal Hill Heritage Overlay Review By HPC

Applicant Name:	Review Due Date:																																																													
Normal Hill Address:	NHHO#																																																													
	Type of Review: Building/Sign/WCF/Other																																																													
Applicant Contact Details:																																																														
Administration Section and Review: This form is to help the reviewer to consider the project and identify which of the factors are met for a Certificate of Appropriateness. Comments can be provided as feedback to the applicant in helping them to obtain a Certificate of Appropriateness. Please refer to the information sheet accompanying this form and for more clarification use the Normal Hill Heritage Overlay Zone Code Section 37-41 & Section 37-218 of the City Code for WCF.																																																														
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Normal Hill Heritage Overlay Review By HPC

Sec. 37-218 General Requirements

(9) *Use of stealth design* . Stealth design is required as provided in Table 1 of section 37-222 of this code, and concealment techniques must be appropriate given the proposed location design, visual environment, and nearby uses, structures, and natural features. Stealth design shall be designed and constructed to substantially conform to surrounding building designs or natural settings, so as to be visually unobtrusive.

HPC Review

No external cables and wires hanging off poles, all to be sheathed or enclosed in a conduit so not visible or visually minimized to the extent possible when above ground.

All colors shall be earth tones, or shall match the background of any structure that the facilities are located upon; colors to be inconspicuous.

Staff Recommendation(s), attach additional pages to this application if required:

Date:

Motion Made:

Second By:

Approved/Decline

Normal Hill Heritage Overlay Review By HPC

SECTION 37-41B.3 - FACTORS

In considering applications for certificates of appropriateness, the Historic Preservation Commission shall use the Secretary of Interior's Standards for Rehabilitation (36 CFR Part 67, Historic Preservation Certifications) as a guideline:

1. The historic character of a property shall be retained and preserved. The removal of historic materials or alterations of features and spaces that characterize a property should be avoided.
2. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
3. Most properties change over time; those changes that have acquired historical significance in their own right shall be retained and preserved.
4. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
5. Deteriorated historic features should be repaired rather than replaced. Where the severity of the deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by physical or pictorial documentary evidence.
6. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property unless such work is for replacement of inefficient or failing materials, fixtures, or systems with modernly designed and constructed replacements that duplicate, replicate, or result in substantial conformance with the visual appearance or integrity of a historically significant aspect of the building. The new work should be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
7. New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SECTION 37-41B.5 - CONDITIONS & EXCEPTIONS

- (a) The HPC may impose conditions of approval on a COA that are necessary to bring the work into compliance with Section 37-41B.1 (Intent).
- (b) The HPC may make an exception to one or more of the Section 37-41B.3 Factors, provided such exception is justified by special findings, which shall be articulated and documented by the HPC and recorded in the HPC meeting minutes.
- (c) The HPC may grant a COA for improvements, regardless of compliance with Section 37-41B.3 Factors (1) through (5), if the applicant demonstrates the Section 37-41B.3 Factors (1) through (5), if the applicant demonstrates the following special circumstances:
 - (1) The proposed improvements are necessary for the continued maintenance, safety, or enhanced ingress and egress of the structure; or
 - (2) Compliance with this the provisions of Section 37-41B would require expenditures for materials and other items required to obtain a COA that would exceed the costs that would be incurred without complying with the provisions of Section 37-41B by twenty percent (20%) or more.
- (d) Emergency repairs may be performed without a COA provided that it can be proven to the satisfaction of the Building Official that such repairs were necessitated by an emergency, it was not practical to obtain a COA or building permit before commencement of the repairs, and a building permit is applied for on the following business day. "Emergency repairs" refer to those situations described as such in the International Building Code, International Existing Building Code, and the International Residential Code, as adopted by the City of Lewiston.

FY2023 HPC Priorities Plan

Current Projects:

- Recognition of Historic Places and Buildings – Plaques **Project**

Commented [KH1]: Completed 2023

Commission Priorities

Goal #1: Protect the City's Historic and Cultural Resources.

The City of Lewiston has codes and standards crafted specifically for maintaining the unique characteristics of the community. Code enforcement and HPC help to guide historic property owner's efforts in preservation, and in making appropriate modifications to the exteriors of historic properties.

1. EDUCATION

1. Goal #3: Inform and engage the people of Lewiston to better integrate historic preservation for the education, enjoyment, and welfare of the community.

a. General

1a. Provide a tool for incoming city council members to gain a strong understanding of the role historical preservation has in City of Lewiston properties. (Actionable: Provide a brief presentation or packet of information to city council members, especially incoming or new council members, detailing the code requirements, process, and importance of being a spokesperson for historical preservation in the City of Lewiston. Create a presentation video.) Policy 3.1 Elected Official Engagement. Incoming elected officials should be invited to participate in an orientation session that includes a presentation on the role of the HPC and its responsibilities.

2a. Encourage people to attend and bring up questions during public comment at HPC meetings. If items mentioned during public comment merit HPC discussion, consider them during "Commissioner Comments" in the meeting's agenda and potentially include them as a future agenda item.

3a. Ask City Council to declare May as "Historic Preservation Month" which is a nationwide effort.

4a. Look for ways to enlarge the audience for historical preservation ideas to affect the community in a positive manner.

Communicate annually with owners of properties by means of an annual mailing (or door hangar) which summarizes the Lewiston historic preservation program, and limitations on changes which can be made to buildings without formal review and approval. Promote available resources, such as The Design Guidelines for the Lewiston West End Historic District, The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings, and the Preservation Briefs technical leaflet series.

5a. Develop a list of frequently asked questions and post on the HPC webpage.

Expand preservation information on the City website to include info valuable to commercial property owners. The site now leans favorably towards owners of single family residences. Include welcoming language which invites public participation in historic preservation and attendance at HPC meetings.

Comment section for public to ask questions.

Develop an email list, starting with citizens who responded to the Historic Preservation Survey, and send periodic (monthly or quarterly) short messages with timely preservation-related information.

Commented [KH2]: This was completed May 8, 2023

6a. Develop a reference library for exterior improvements

A resource list might include contractors who are familiar with historic construction methods, stucco repair, window rehab, masons, blacksmiths, etc., or preservation architects, or accountants who are familiar with federal tax credit projects. Develop an outreach for local construction contractors which identifies the type and extent of work for which a Certificate of Appropriateness is required.

7a. Add a link to the Building Official and Fire Marshall for building and fire code requirements.

8a. Add information about financial incentives available. Add a link to tax incentive information.

9a. List Historical Registry Properties on website. List Historically significant properties. Collect histories of individual properties for the benefit of the Community Development Department, the Nez Perce County Historical Society, and the main branch of the Lewiston library.

Owners of businesses located in the historic district should be encouraged to lean on the historic character of the property in the advertising and marketing campaigns.

10a. HPC sponsor speakers on interesting subjects related to Historical preservation or the History of the area.

Several HPC members mentioned having a special annual community event that formed the basis of citizen involvement. These annual events tend to be far larger than the staff of HPC can manage. However, if elevated to the city sponsored event, the responsibility of planning falls on many shoulders.

b. Realtors

Policy 3.3 Civic Transparency

b. Understanding that historic properties will change hands, the City should work to increase transparency in the property transaction process so that potential purchasers understand the implications of ownership of a historic property.

1b. Provide more educational opportunities for real estate professionals, prospective buyers, etc to understand the importance of protecting historical properties in the City of Lewiston. (Actionable: Provide/distribute a flier explain the importance and requirements of historical preservation at open houses, especially ones that are located in the Normal Hill Heritage Overlay zone or West End Historic District.)

Create a brochure for use by local real estate agents during historic house showings. Language for this could be similar to the Enriching the Future with Lewiston's History. Reaching out regularly/annually to area realtors and title companies to inform them of historic boundaries, the impacts of a register listing, and incentives available to purchasers/owners of historic properties (such as the Federal Tax Credit program for income producing properties).

2b. Plan a seminar on the Certificate of Appropriateness process and invite those people who have gone through the process to attend and provide their feedback.

Policy 2.2 Engagement

The City should encourage citizens who have gone through the Certificate of Appropriateness process to give feedback, including advice to new applicants.

Commented [KH3]: A link to the State Historic Preservation Office has been added to the HPC webpage – they are most knowledgeable of the historic tax incentives.

Commented [KH4]: A link to the National Register of Historic Places has been added to the HPC webpage

Identify one or more community members who have had positive experiences with the Certificate of Appropriateness process who might be willing to advise or mentor new applicants.

Policy 1.1

The City should expand property maintenance and code enforcement activities, particularly in relation to historic properties.

- A. Targeted communications with property owners, business owners, and residents inside historic districts to encourage compliance with existing property maintenance codes.
- B. Outreach to property owners who live outside the Lewiston area to emphasize the benefits of regular maintenance, including increased property values.

Policy 1.2

The City should look for opportunities to support owners of historic properties by means of financial incentives, streamlining permitting and design review processes, and maintaining a list of resources available.

- c. Commercial Building Owners in West End Historic District
 - C1. Plan events for building and business owners to share what Historic Preservation Commission actions are “real” or “perceived” with discussion of specific areas where the Commission input does not impede either construction or remodeling.
 - C2. Add information to the city website regarding commercial buildings in the West End Historic District and remodeling/construction/certificate of appropriateness rules.
 - C3. Incentivize reusing historic buildings by offering monetary incentives. Reduce costs the city has control over such as reduction in permit fees and city utility hook-up fees.
 - C4. Gather information about federal tax incentives for historic properties to distribute to property owners to make them aware of already existing programs to help defray cost of rehab/preservation efforts. City staff and HP Commissioners should promote the use of Historic Preservation Tax Incentives offered by the Idaho SHPO and the National Park Service.
- d. Residential Building Owners in the Normal Hill Heritage Overlay Zone
 - D1. Consider a city grant program to help Normal Hill Overlay homeowners with exterior preservation costs. Work with Grant Manager to develop criteria and thresholds, determine where funding would come from. Grant program would need City Council approval. The City could consider creation of a low-interest commercial revolving fund to help defray extraordinary costs associated with meeting appropriateness standards or making façade improvements, or a no-interest residential revolving fund to help homeowners rehab historic wood windows rather than replacing them with modern vinyl units. The funds would not be used to pay for the project entirely, but could bridge the financial gap between modern replacements and appropriate rehabilitation. The funds could be resupplied over a specified time, or forgiven on a case-by-case basis as new funding becomes available.

2. ONGOING HISTORIC PRIORITIES

Policy 1.3

The City should recognize and promote praiseworthy efforts to beautify Lewiston and make the community more livable, particularly in the West End Historic District and Normal Hill Heritage Overlay Zone.

2.a. This could include a series of social media posts aimed at discussing the benefits of protecting historic character, such as increasing property values, or recognizing the value of embodied energy when it comes to preserving the original building materials.

b. Orchid Awards

Policy 3.5 Promote Heritage Tourism: The City shall support efforts to develop and expand heritage tourism as an economic driver.

Policy 3.6 Recognize Excellence: The City shall encourage cultural resource protection through recognition of individuals, organizations and advocacy groups whose efforts exemplify excellence in the field of historic preservation.

c. The HPC should actively seek nominations year round for new honorees. HPC members are encouraged to advance local award winners to Preservation Idaho for statewide recognition where appropriate.

a.d. Pairing a well-publicized community even with the Orchid Awards would cause the Awards to increase credibility and visibility.

i. Signage

Improve signage, standardize signage design, install new signage where needed, and repair or replace signage that is nonconforming.

Encourage property owners to install plaques recognizing historic properties, where appropriate.

Policy 3.4 Property Owner Engagement

The City shall promote recognition of historic properties by means of signage, storytelling and public recognition of successful preservation projects.

a. Encourage owners of historic properties, whether they be residential or commercial, to learn best practices for the care and preservation of historic properties.

i.b. Educate property owners on the incentives for good stewardship of their properties.

b.e. Plaques

i. Policy

ii. Purchase

e.f. The City of Lewiston should work with Code Enforcement and the HPC to incentivize positive behaviors through recognition of praiseworthy efforts to beautify Lewiston and make the community more livable.

d.g. Review HPC website annually to make updates

3. IDENTIFICATION OF HISTORIC PLACES AND BUILDINGS

a. Nominations to the National Register

A1. Engage building and business owners in the historic districts or in areas of future historic designation in a dialog to reveal benefits and obligations of current codes, remodeling guidelines, and possible decisions by governmental agencies that could impact them.

4. RESTORATION POSSIBILITIES

a. Capital Projects for City owned properties

i. Carnegie building

ii. Towers

b. Restoration project of steps and pathways between Historic Downtown and Normal Hill

5. EDUCATION FOR COMMISSION AND STAFF

Policy 3.2 Historic Preservation Training

Ongoing professional development should be provided for CLG staff and Historic Preservation Commissioners in preservation goals, processes, standards and best practices.

Host periodic Cultural Resource Training with subject matter experts as cadre including members of the Nez Perce Tribe, Idaho SHPO, and advocacy groups such as Preservation Idaho.

Seek Idaho CLG funding for HPC members and Community Development staff to attend historic preservation conferences and trainings on a regular basis, including Preservation Idaho's annual conference.

5. The HPC should take the lead on discovering and educating the public on how to take advantage of Green Deal tax breaks and tax credits for energy-saving retrofits that are appropriate for historic properties.

- a. Commission involvement in National/State Conferences
- b. Reports to City Council – January/February and September/October
- c. New Commissioner Orientation
 - i. Make readily available the folder, “Enriching the Future with Lewiston’s History”
 - ii. Host family education events throughout the year.

6. BUILDING PARTNERSHIPS

6. Goal #2 Promote Historic Preservation by developing mutually beneficial partnerships with local communities and advocacy groups whose values and interests align with the City's in the areas of heritage, arts and sustainability.

Build relationships with organizations to advance Historical Preservation

- i. BDL
- ii. Nez Perce County Historical Society and Museum
- iii. LCSC
- iv. Liberty Theater
- v. Realtor Association
- vi. Nez Perce Tribe
- vii. Visit Lewis Clark Valley
- viii. Lewis Clark Valley Chamber of Commerce

Policy 2.1 Consultations

The City should recognize Lewiston's historic and cultural roots by expanding respectful interaction with the Nez Perce Tribe and the Nez Perce County Historical Society.

Identify one of more staff members or elected officials to coordinate communications between city staff and tribal staff.

Initiate a regular quarterly meeting with representatives of local advocacy groups to informally discuss items of mutual concern or interest. This could take the form of a brown bag lunch, alternating locations each quarter.

vi.

7. SIDEWALK VAULTS

- a. Education
 - A1. Pull owners of buildings with vaults together to hear their concerns and hopes for vault usage, upkeep or demolition.
- b. Progress Completion of Inventory
- c. Collection on the Historic Significance on vaults
- d. Educate/Document Historical Usage
- e. Preservation and Education Efforts



Envision Lewiston 2044 Vision, Themes and Opportunities

Welcome to the Envision Lewiston 2044 Vision, Themes and Opportunities Questionnaire

This questionnaire builds on the feedback received on the earlier survey, and will help shape the vision for Lewiston. This vision will be the overarching idea that the new Plan will work toward. This is a plan for Lewiston, and that can't be done without the people of Lewiston. We appreciate your participation!

1) Which of these words or phrases describes Lewiston right now? Select up to five.

- ☐ Thriving
- ☐ Small town-feel
- ☐ Access to outdoor recreation
- ☐ Walkable downtown
- ☐ Safe and welcoming
- ☐ Family-friendly
- ☐ Strong sense of community
- ☐ Strong and diverse economy
- ☐ Diverse housing options
- ☐ Sustainable
- ☐ High quality of life
- ☐ Promotes health and wellbeing
- ☐ Collaborative and empowering atmosphere



- ☐ Smart infrastructure investments

2) Which of these words or phrases should describe Lewiston in 2044? Select up to five.

- ☐ Thriving
- ☐ Small town-feel
- ☐ Access to outdoor recreation
- ☐ Walkable downtown
- ☐ Safe and welcoming
- ☐ Family-friendly
- ☐ Strong sense of community
- ☐ Strong and diverse economy
- ☐ Diverse housing options
- ☐ Sustainable
- ☐ High quality of life
- ☐ Promotes health and wellbeing
- ☐ Collaborative and empowering atmosphere
- ☐ Smart infrastructure investments

3) A vision statement should be in keeping with the values and things people love about the community. Consider this possible vision statement:

"In 2044, Lewiston is a prosperous City with a strong sense of community, small-town feel, thriving and historic downtown, resilient and diverse economy, smart infrastructure investments, a collaborative and innovative community, and high quality of life"

Rate how well you think the above draft statement reflects what people love about Lewiston. Ten being the most reflective, one being the least.

1 2 3 4 5 6 7 8 9 10



4) Are there any parts of the statement is not in keeping with the values of Lewiston? Select all that apply.

- ☐ Lewiston is a prosperous City
- ☐ with a strong sense of community
- ☐ small-town feel
- ☐ thriving and historic downtown
- ☐ resilient and diverse economy
- ☐ smart infrastructure investments
- ☐ collaborative and innovative community
- ☐ high-quality of life

What part(s) of the draft vision statement are the most reflective of Lewiston's values? Select up to 3.

- ☐ Lewiston is a prosperous City
- ☐ with a strong sense of community
- ☐ small-town feel
- ☐ thriving and historic downtown
- ☐ resilient and diverse economy
- ☐ smart infrastructure investments
- ☐ collaborative and innovative community
- ☐ high-quality of life



Themes

Themes are key ideals that will run throughout the plan and help show what types of actions may be taken to support the vision.

5) Consider the following draft theme:

"Collaboration, Facilitation and Investment: Lewiston makes strategic investments while building community trust and connections with and between stakeholders."

Does the above draft theme align with the values of Lewiston? Ten being the most aligned, one being the least.

1 2 3 4 5 6 7 8 9 10

6) Consider the following draft theme:

"Collaboration, Facilitation and Investment: Lewiston makes strategic investments while building community trust and connections with and between stakeholders."

Rank the following actions for how well you think they would fulfill the theme statement. 1 being most effective and 5 being least effective.

Active collaboration with residents, businesses, and partner organizations

Streamlining regulations and processes

Supporting business development

Ensuring that taxpayer dollars are used efficiently

Consistent implementation of smart infrastructure investments

7) Consider the following draft theme:



"Economic Resilience and Diversification: Lewiston prospers as a regional economic hub."

Does the above draft theme align with the values of Lewiston? Ten being the most aligned, one being the least.

1 2 3 4 5 6 7 8 9 10

8) Consider the following draft theme:

"Economic Resilience and Diversification: Lewiston prospers as a regional economic hub."

Rank the following actions for how well you think they would fulfill the theme statement. 1 being most effective and 5 being least effective.

Leveraging economic development opportunities

Capitalizing on the Port of Lewiston, Idaho's only seaport

Developing a and retaining skilled workforce

Fostering a business-friendly atmosphere for a diverse range of industries, services and businesses

Creating a resilient and pro-growth business climate that attracts employers and employees

9) Consider the following draft theme:

"High Quality of Life: Lewiston provides a high quality of life."

Does the above draft theme align with the values of Lewiston? Ten being the most aligned, one being the least.

1 2 3 4 5 6 7 8 9 10

10) Copy of Consider the following draft theme:

"High Quality of Life: Lewiston provides a high quality of life."

Rank the following actions for how well you think they would fulfill the theme statement. 1 being most effective and 7 being least effective.

Sustainable stewardship of natural resources,

Providing access to a wide array of recreational opportunities especially along the waterfront

Enhancing health and social services

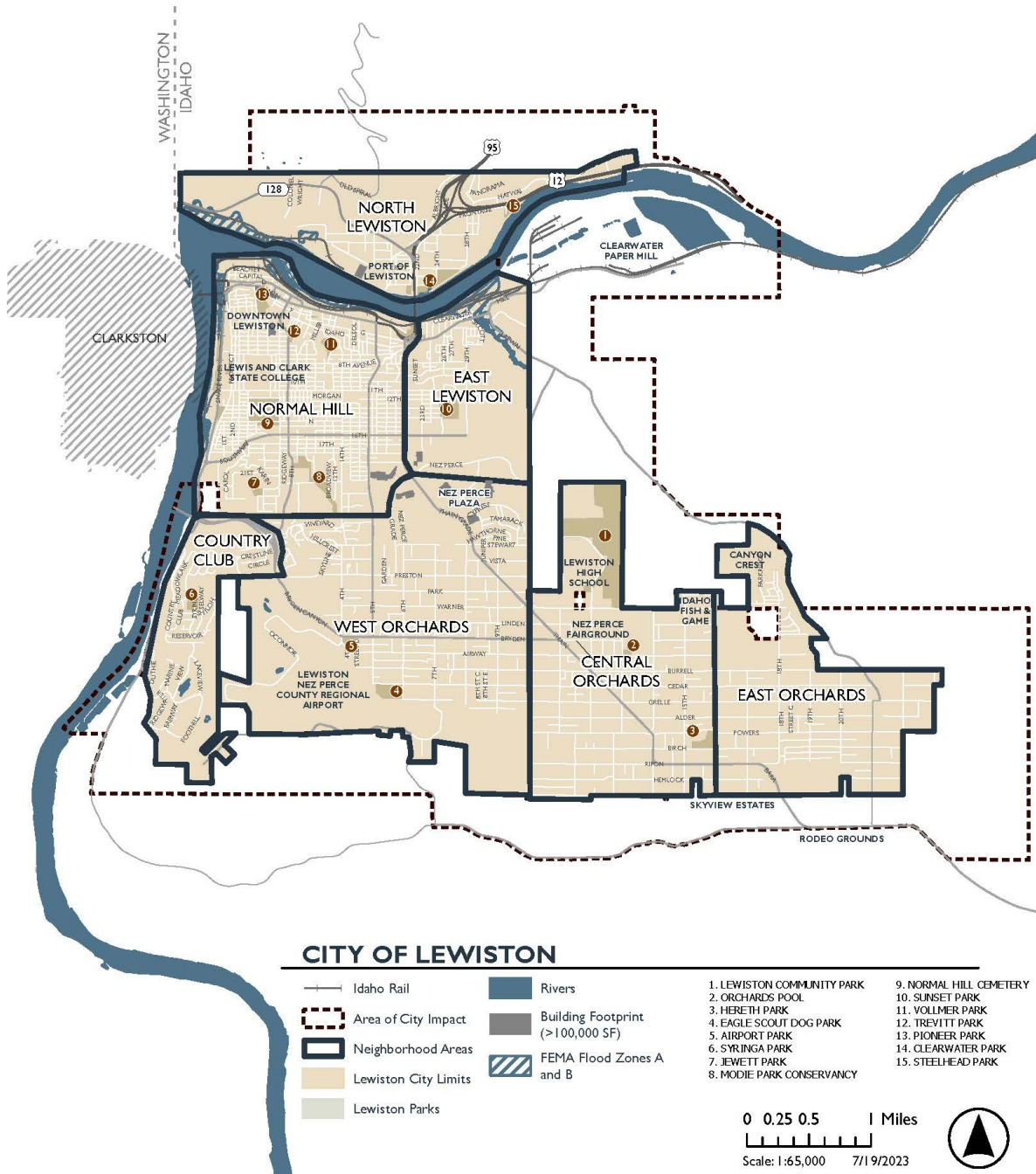


- ☐ Expanding housing options
- ☐ Developing quality employment and educational opportunities
- ☐ Maintaining and enhancing efficient transportation systems
- ☐ Creating inclusive community-oriented spaces with a vast array of entertainment options



Opportunities

Opportunities are places where the vision meets reality. Consider what places in Lewiston could change in the future to help realize the vision. The identified opportunities listed in this section are a reflection of community input received to date. The map below is for your reference.





11) What opportunities are present in **Downtown Lewiston / Normal Hill / East Lewiston** that you would like to see realized by 2044? Select all that apply.

- ☐ Improve access and connectivity for pedestrian and bikes
- ☐ Transition Snake River Avenue to more residential and commercial uses
- ☐ Make downtown more vibrant with additional activities, shopping and entertainment options
- ☐ Develop the former Twin City Foods Site (between downtown and the confluence of the rivers)
- ☐ Create additional recreational open space along riverfront
- ☐ Invest in updated utilities
- ☐ Develop a convention or event space
- ☐ Create a business incubator to help small businesses thrive
- ☐ Develop additional housing options
- ☐ Other - Write In:

12) What opportunities are present in **North Lewiston** that you would like to see realized by 2044? Select all that apply.

- ☐ Develop a cruise ship dock to support tourism
- ☐ Create a business and technology park
- ☐ Create additional recreational open space along riverfront
- ☐ Other - Write In:



13) What opportunities are present in the **Orchards/ Country Club** areas that you would like to see realized by 2044? Select all that apply.

- ☐ Redevelop underutilized retail spaces
- ☐ Create additional housing options
- ☐ Create additional recreational open space along riverfront
- ☐ Improve street connectivity
- ☐ Develop additional commercial corners to serve residential areas
- ☐ Create conservation areas where appropriate
- ☐ Invest in utility upgrades to support growth
- ☐ Complete Community Park
- ☐ Widen and add sidewalks to narrow, substandard streets
- ☐ Other - Write In:



Reaching the Lewiston Community

We are working hard to ensure all voices in Lewiston are heard. The intent of these questions is to understand whether we are engaging all parts of the Lewiston community and where further outreach efforts may be needed. All answers will be kept confidential and will not be shared with third parties. You may mark "Prefer not to say" for any questions you do not feel comfortable answering, or just leave it blank.

14) Please chose your neighborhood:

- ☐ North Lewiston
- ☐ Normal Hill
- ☐ East Lewiston
- ☐ Country Club / Elks
- ☐ West Orchards
- ☐ Central Orchards
- ☐ East Orchards
- ☐ Downtown
- ☐ Other - Write In:

15) What is your age?

- ☐ 19 years or younger
- ☐ 20-29
- ☐ 30-39
- ☐ 40-49
- ☐ 50-59
- ☐ 60-69
- ☐ 70-79



- ☐ 80 years or more
- ☐ Prefer not to answer

16) What is your current housing status?

- ☐ Homeowner
- ☐ Renter
- ☐ Homeless
- ☐ Live with friend or relative
- ☐ Live in a hotel or motel
- ☐ Prefer not to say
- ☐ Other - Write In:

17) What is your race / ethnicity?
(check any that apply)

- ☐ White
- ☐ African American or Black
- ☐ Hispanic or Latino
- ☐ Asian or Pacific Islander
- ☐ Native American or Alaska Native
- ☐ Multiple races
- ☐ Prefer not to say
- ☐ Other - Write In:



18) What is your total annual household income?

- ☐ Less than \$25,00
- ☐ \$25,000-\$34,999
- ☐ \$35,000-\$49,999
- ☐ \$50,000-\$74,999
- ☐ \$75,000-\$99,999
- ☐ \$100,000 or more
- ☐ Prefer not to say

Thank You!

Your participation will help shape the future of Lewiston!
To learn more, visit:
www.cityoflewiston.org/EnvisionLewiston2044
